

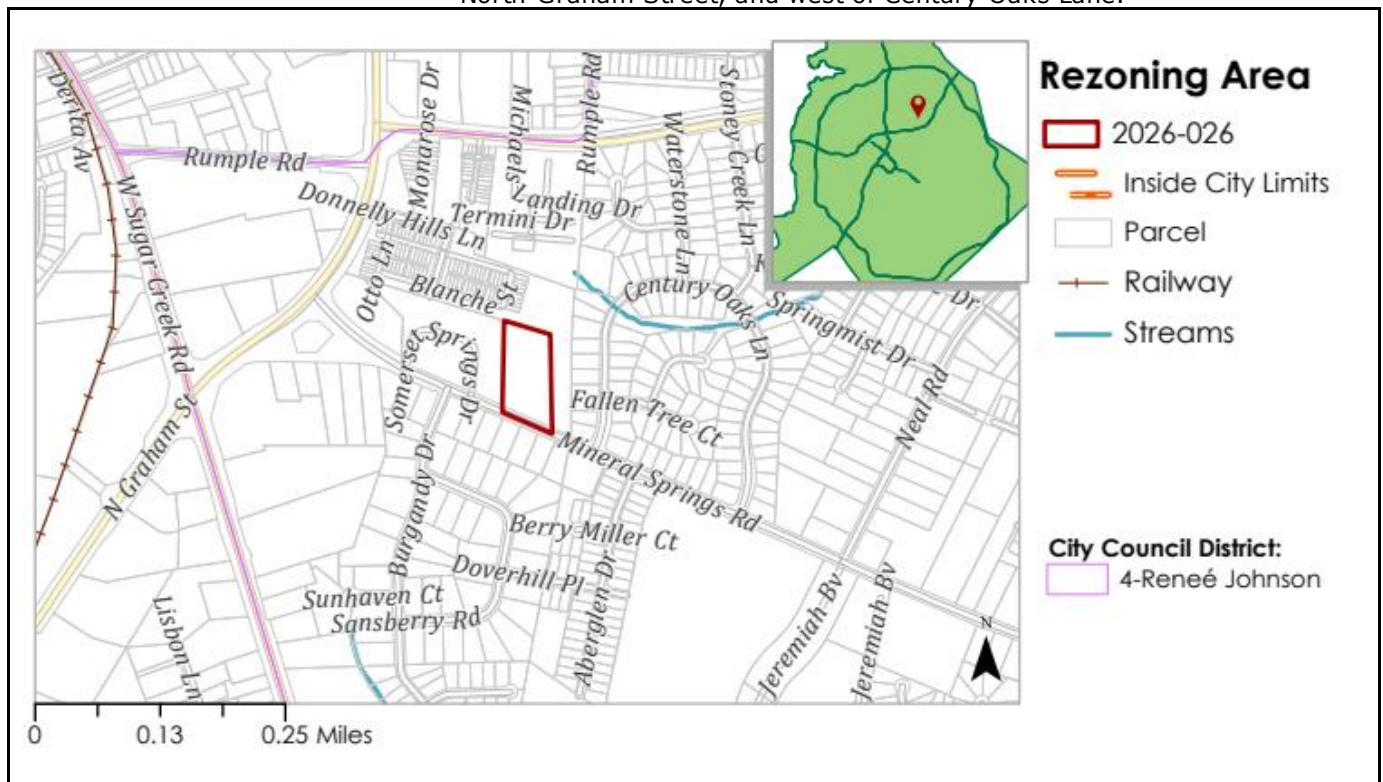
REQUEST

Current Zoning: N2-B (Neighborhood 2-B)
Proposed Zoning: N2-A (Neighborhood 2-A)

LOCATION

Address: 1700 Mineral Springs Road, Charlotte, NC 28262

Approximately 2.81 acres located north of Mineral Springs Road, east of North Graham Street, and west of Century Oaks Lane.



SUMMARY OF PETITION

The petition proposes to allow all uses permitted by-right and under prescribed conditions in the N2-A zoning district. The site is developed with an existing religious institution.

PROPERTY OWNER

Nativity of the Holy Virgin Orthodox Church

PETITIONER

Nativity of the Holy Virgin Orthodox Church

AGENT/REPRESENTATIVE

David Murray, Murray Law Firm, PLLC

COMMUNITY MEETING

The community meeting was held on July 30, 2026, and 2 people from the community attended.

The community meeting report notes that items discussed at the meeting included an overview of the rezoning explaining that this was a down zoning for the purpose of adding a new sanctuary for the church.

The full meeting report is available online.

**STAFF
RECOMMENDATION**

Staff recommends approval of this petition.

Plan Consistency

The petition is **consistent** with the goals and policies of the *North Middle & Outer Community Area Plan*.

Rationale for Recommendation

- The site is designated as a Neighborhood 2 Place Type by the *North Middle & Outer Community Area Plan* and the *2040 Policy Map*. The request is in alignment with the site's Place Type designation and Community Area Plan goals.
- The proposed zoning represents a slight decrease in intensity over the existing N2-B entitlements.
- The N2-A district permits religious institutions and their accessory uses.
- This zoning designation is well-suited for areas like this that are less urban in character but in proximity to commercial areas and major transportation corridors.

PLANNING STAFF REVIEW

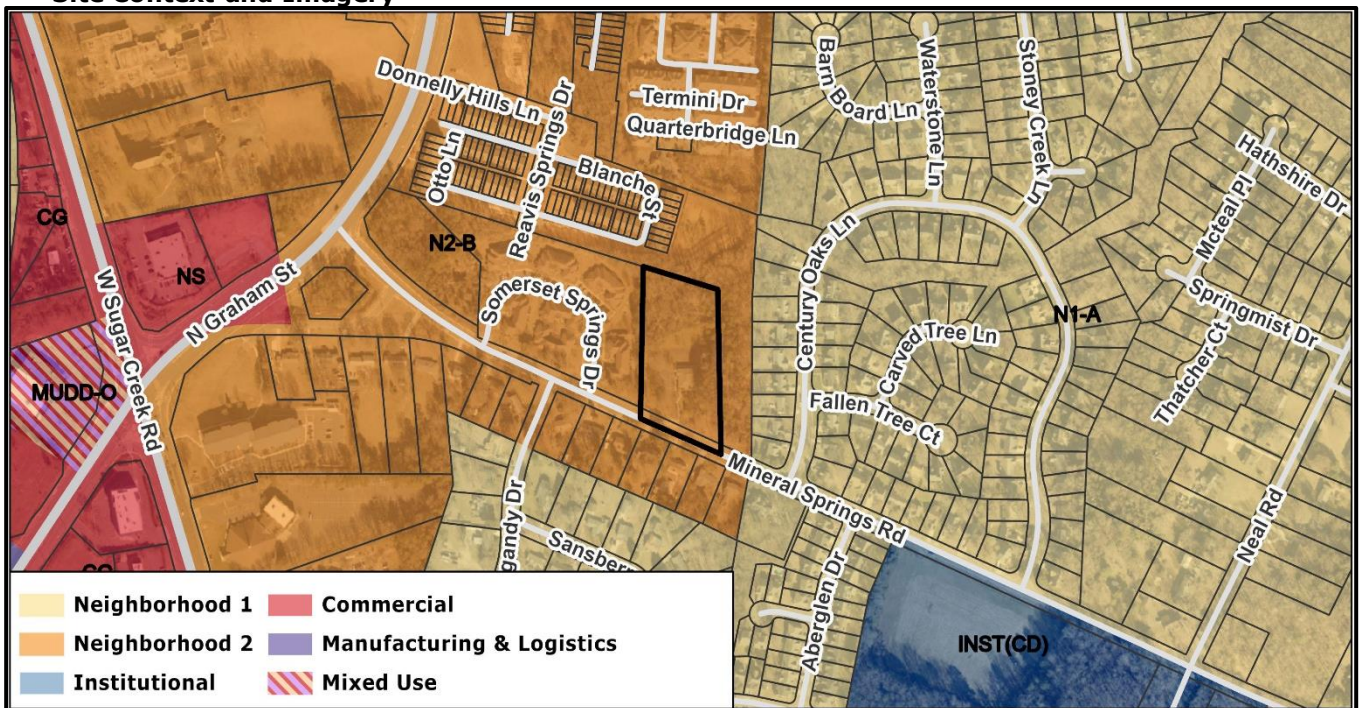
- **Background and Zoning District Summary**

- Existing Zoning:
 - N2-B: This district is intended for the development of multi-family attached or stacked dwellings, either as standalone buildings or as components of multi-dwelling developments. The district also allows for a limited range of institutional uses.
- Proposed Zoning:
 - N2-A: This district is intended for the development of multi-family attached dwellings, either as standalone buildings or as components of multi-dwelling developments. The district also allows for a limited range of institutional uses.

- **Proposed Request Details**

This is a conventional rezoning petition with no associated site plan.

- **Site Context and Imagery**



- The current zoning is Neighborhood N2-B. The surrounding zoning is Neighborhood N2-B, Neighborhood N1-A, Neighborhood Services, Institutional, and Mixed Use.



The site (denoted by a red star) is located north of Mineral Springs Road, east of North Graham Street, and west of Century Oaks Lane. Most of the surrounding land uses are single family homes and multi-family homes.



The property to the east along Century Oaks Lane is developed with single family homes.



The property to the west along Mineral Springs Road is developed with multi-family housing.

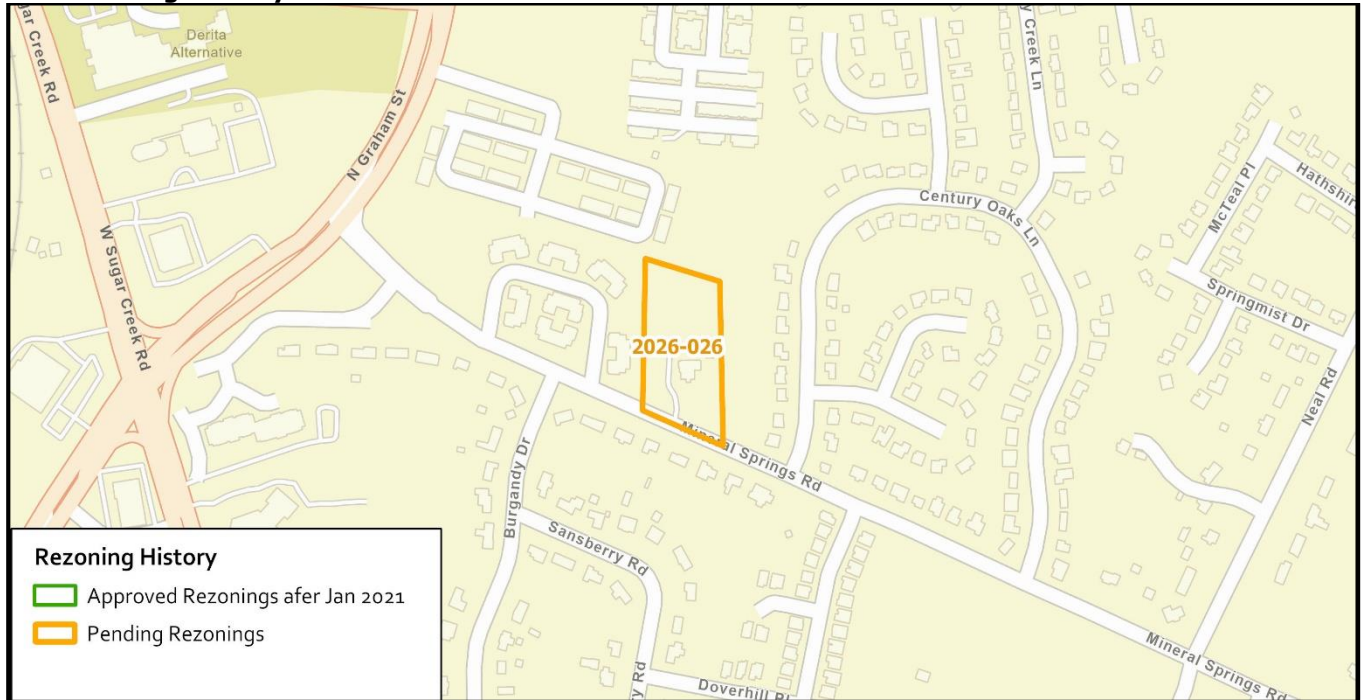


The property to the south across Mineral Springs Road is developed with single family homes.



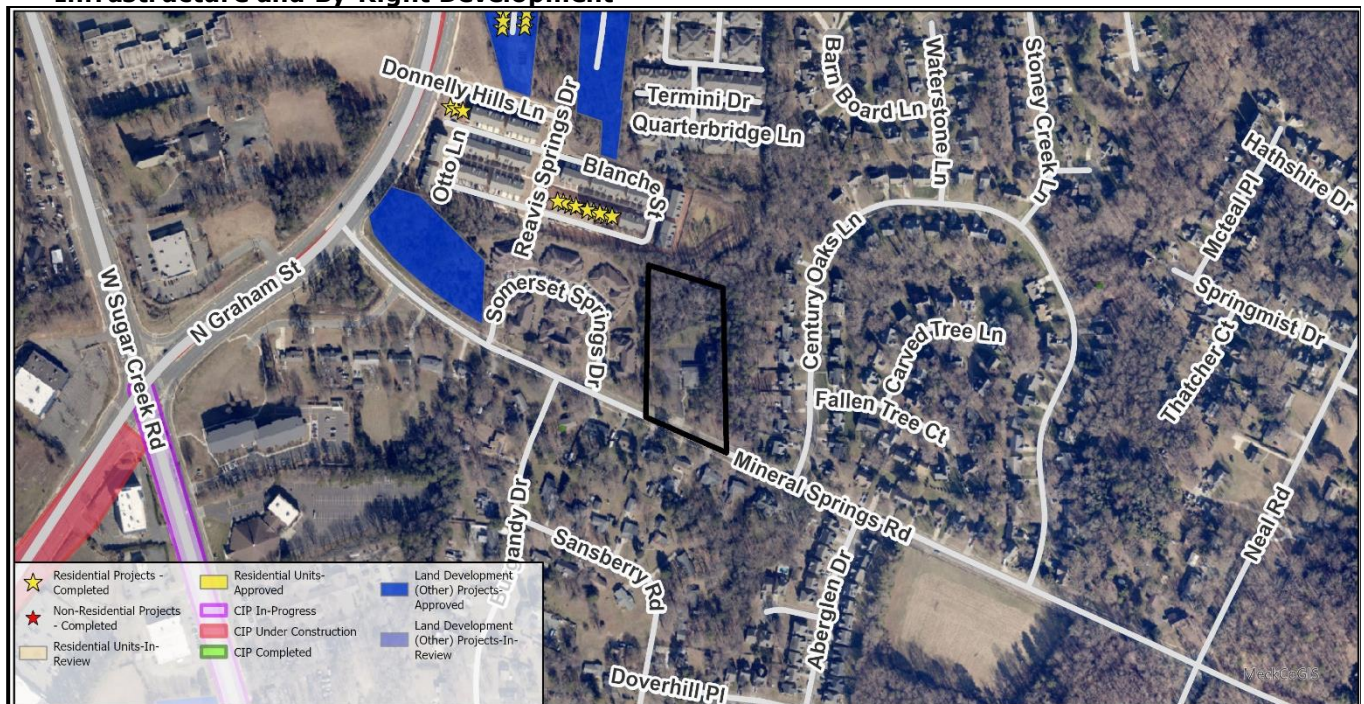
The property to the North along Blanche is developed with multi-family homes.

• Rezoning History in Area



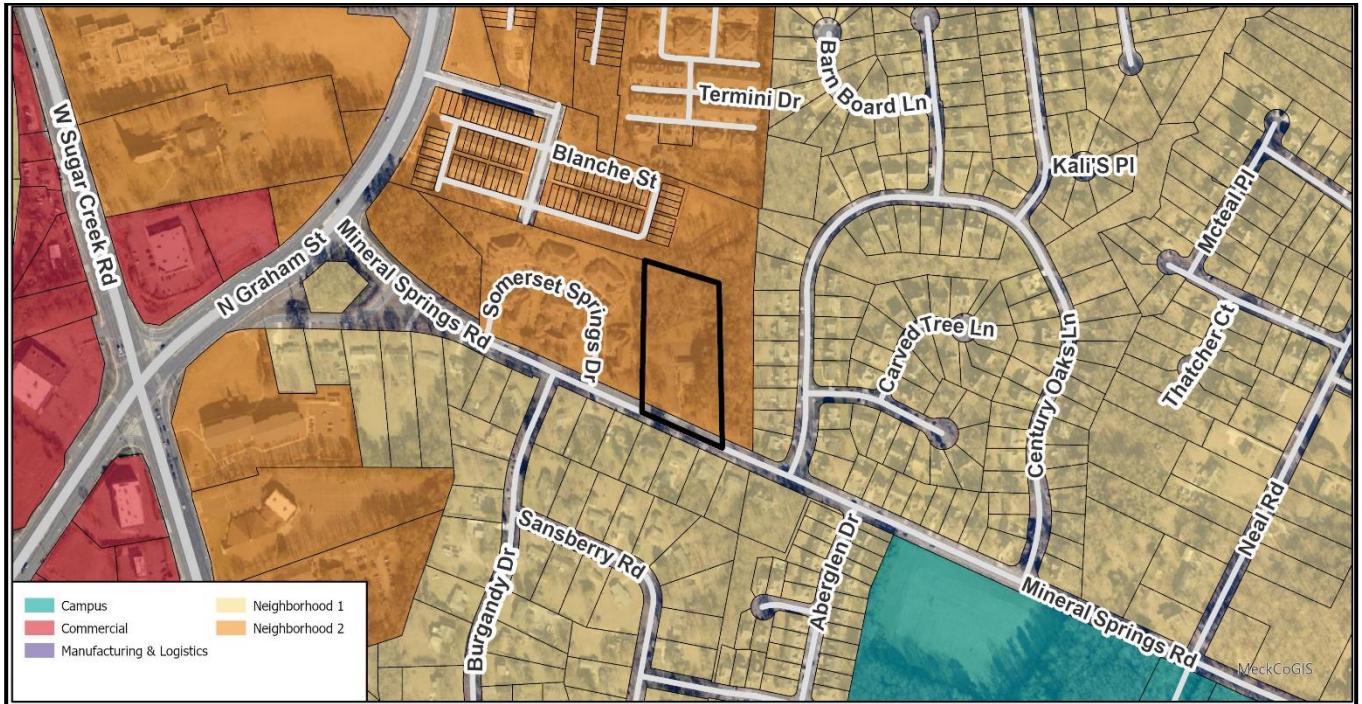
- There have been no rezonings in the past 5 years around the subject site.

• Infrastructure and By-Right Development



- This map depicts infrastructure projects, rezonings, and projects occurring by-right in the vicinity of the subject rezoning. By-right development is development that without exception complies with all standards of the zoning district in which the development is taking place. A project occurring by-right denotes that the development is allowed on the property and needs only to show that the development will meet the ordinance standards).
- More information on the specific projects in this area can be found using [Development Near Me](#)

• Public Plans and Policies



- The *North Middle & Outer Community Area Plan* and accompanying *2040 Policy Map* recommends the Neighborhood 2 Place Type. The proposed rezoning is in alignment with the adopted Neighborhood 2 Place Type.
 - Neighborhood 2 places are higher density housing areas that provide a variety of housing types such as townhouses and apartments alongside neighborhood-serving shops and services.

• INFRASTRUCTURE COMMENTS

• Charlotte Department of Transportation

- The site is located adjacent to Mineral Springs Road, a State-maintained major collector, east of North Graham Street, a State-maintained major arterial. A Comprehensive Transportation Review (CTR) is not necessary for the complete review of this petition due to the conventional rezoning. A CTR will be required during permitting if the site generates site trips over ordinance thresholds. The site will be subject to transportation improvements in accordance with the UDO and the adopted CDOT Streets Map. CDOT will work with the petitioner during the permitting process to pursue all options to provide additional forms of connectivity that reflect the types of development associated with this place type and zoning district.
- **Active Projects:**
 - No active projects near the site.
- **Transportation Considerations:**
 - No outstanding issues.
- **Vehicle Trip Generation:**
 - Current:
 - Existing Use: 78 trips per day (based on church use).
 - Existing Zoning Entitlements: 150 trips per day (based on 33 Multi-family units).
 - Proposed Zoning: 60 trips per day (based on 22 multi-family units).

• Storm Water Services

- **Considerations:**
 - Reviewed, no comments.

• Charlotte Water

- Charlotte Water has accessible water system infrastructure for the rezoning boundary via an existing 8-inch water distribution main along Mineral Springs Road.
- Charlotte Water has accessible sanitary sewer system infrastructure for the rezoning boundary via an existing 8-inch gravity sewer main located along Mineral Springs Road.
- **Considerations:**
 - See advisory comments at www.rezoning.org

- **Charlotte-Mecklenburg Schools**
 - Due to the relatively small acreage of the site, the development allowed under the proposed zoning may not generate students. Current Utilization.
 - Governors Village K-8 currently at 80% utilization.
 - Chambers High currently at 120% utilization.
 - **Considerations:**
 - See advisory comments at www.rezoning.org
- **Charlotte Area Transit System**
 - **Considerations:**
 - Reviewed, no comments.

CITY DEPARTMENT COMMENTS

- **Charlotte Department of Housing and Neighborhood Services:** Reviewed, no comments.
- **Charlotte Department of Solid Waste Services:** Reviewed, no comments.
- **Charlotte Fire Department:** Reviewed, no comments.
- **Erosion Control:** Reviewed, no comments.
- **Long Range Planning:** Reviewed, no comments.
- **Urban Forestry:** Reviewed, no comments.

MECKLENBURG COUNTY COMMENTS

- **Mecklenburg County Land Use and Environmental Services Agency:** See advisory comments at www.rezoning.org
- **Mecklenburg County Park and Recreation Department:** Reviewed, no comments.

Additional information (department memos, site plans, maps etc.) online at www.rezoning.org
Planner: Michael Russell (704) 353-0225