

Storm Water Quantity Control

The petitioner shall tie-in to the existing storm water system(s). The petitioner shall have the receiving drainage system(s) analyzed to ensure that it will not be taken out of standard due to the development. If it is found that development will cause the storm drainage system(s) to be taken out of standard, the petitioner shall provide alternate methods to prevent this from occurring.

Storm Water Quality Treatment

For projects with defined watersheds greater than 24% built-upon area, construct water quality best management practices (BMPs) to achieve 85% Total Suspended Solid (TSS) removal for the entire post-development runoff volume for the runoff generated from the first 1-inch of rainfall. BMPs must be designed and constructed in accordance with the N.C. Department of Environment and Natural Resources (NCDENR) Best Management Practices Manual, April 1999, Section 4.0 (Design Standards shall be met according to the City of Charlotte Best Management Practices Manual, when available). Use of Low Impact Development (LID) techniques is optional.

Volume and Peak Control

For projects with defined watersheds greater than 24% built-upon area, control the entire volume for the 1-year, 24-hour storm. Runoff volume drawdown time shall be a minimum of 24 hours, but not more than 120 hours.

For residential projects with greater than 24% BUA, control the peak to match the predevelopment runoff rates for the 10-year and 25-year, 6-hour storms or perform a downstream analysis to determine whether peak control is needed, and if so, for what level of storm frequency.

For commercial projects with greater than 24% BUA, control the peak to match the predevelopment runoff rates for the 10-yr, 6-hr storm and perform a downstream flood analysis to determine whether additional peak control is needed and if so, for what level of storm frequency, or if a downstream analysis is not performed, control the peak for the 10-yr and 25-yr, 6-hour storms.

For commercial projects with less than or equal to 24% BUA, but greater than one acre of disturbed area, control the peak to match the predevelopment runoff rates for the 2 and 10-yr, 6-hr storm.

Stream Buffers

The S.W.I.M. Stream Buffer requirements apply described in the City of Charlotte Zoning Ordinance, Chapter 12. In addition, intermittent and perennial streams within the project boundary shall be delineated by a certified professional using U.S. Army Corps of Engineers and N.C. Division of Water Quality methodology and shall be shown in the site plan submittal along with all buffer areas.

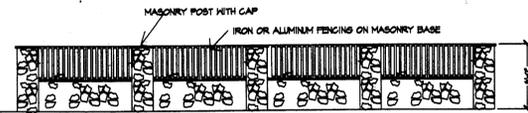
All perennial and intermittent streams draining less than 50 acres shall have a minimum 30-foot vegetated buffer including a 10-foot zone adjacent to the bank. Disturbance of the buffer is allowed; however, any disturbed area must be re-vegetated and disturbance of the 10-foot zone adjacent to the bank shall require stream bank stabilization using bioengineering techniques as specified in the Design Manual.

All streams draining greater than or equal to 50 acres and less than 300 acres shall have a 35-foot buffer with two (2) zones, including stream side and upland. Streams draining greater than or equal to 300 acres and less than 640 acres shall have a 50-foot buffer with three (3) zones, including stream side, managed use and upland.

Streams draining greater than or equal to 640 acres shall have a 100-foot buffer, plus 50% of the area of the flood fringe beyond 100 feet. This buffer shall consist of three (3) zones, including stream side, managed use and upland.

All buffers shall be measured from the top of the bank on both sides of the stream. The uses allowed in the different buffer zones as described in the S.W.I.M. Stream Buffer requirements in the Zoning Ordinance, Chapter 12, as well as the other provisions of the S.W.I.M. ordinance shall apply (except buffer widths).

This petition is located within the South Blvd Phase II Storm Drainage Improvement Project. The petitioner shall coordinate storm water control with the project manager (Doug Lozner, 704-432-0964).



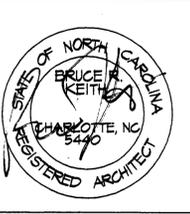
PROPOSED FENCING (OPTIONAL-LOCATION TO BE DETERMINED)

1/8"=1'-0"



CONCEPTUAL FRONT ELEVATION

1/8"=1'-0"



THE VILLAS AT
WOODLAWN OAKS

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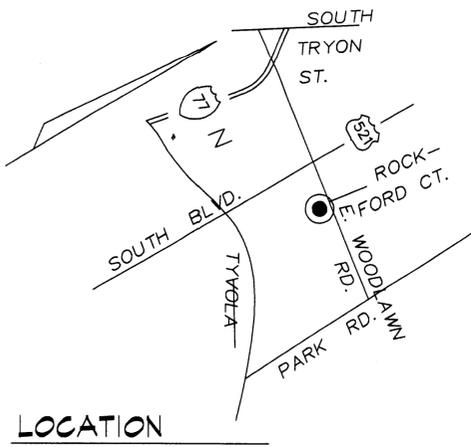
PETITION #2007-05
FOR PUBLIC HEARING
ELEVATION & NOTES
DECEMBER 15, 2006
MARCH 28, 2007
(ADD STORM WATER NOTES)

APPROVED BY
CITY COUNCIL
MAR 1 8 2007

PLOT SCALE=1/8"=1'

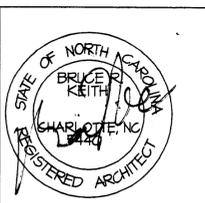
CONDITIONAL DEVELOPMENT NOTES

- DEVELOPMENT OF THE SITE WILL BE CONTROLLED BY THE STANDARDS DEPICTED ON THIS SITE PLAN AND BY THE STANDARDS OF THE CITY OF CHARLOTTE, ZONING ORDINANCE. THE DEVELOPMENT DEPICTED ON THIS PLAN IS INTENDED TO REFLECT THE ARRANGEMENT AND APPROXIMATE CONFIGURATION OF USES ON THE SITE. THE EXACT CONFIGURATION, PLACEMENT AND SIZE OF INDIVIDUAL ELEMENTS MAY BE ALTERED OR MODIFIED WITHIN LIMITS OF THE ORDINANCE AND THE RESTRICTIONS NOTED ON THIS PLAN.
- STREET LIGHTING SHALL NOT BE ANY HIGHER THAN 16'. ALL LIGHTING SHALL BE FULLY SHIELDED.
- SIGNAGE WILL BE LIMITED TO ONE SIGN ON THE WALL ALONG WOODLAWN. SIGN SHALL NOT BE BACKLIT AND WILL CONFORM TO SIGN ORDINANCE. SIGN, IF INSTALLED, SHALL BE MOUNTED ON PROPOSED WALL OR MONUMENT.
- PARKING PROVIDED SHALL MEET OR EXCEED REQUIREMENTS OF THE ORDINANCE.
- HOUSES SHALL NOT EXCEED TWO AN 1/2 STORIES OR FORTY FEET IN HEIGHT.
- ALL HOMES SHALL BE WITHIN 150 FEET OF A FIRE HYDRANT PER CHARLOTTE FIRE DEPT.
- THE PETITIONER WILL INSTALL A SIDEWALK ON ONE SIDE OF PRIVATE STREET AND CONNECT TO EXISTING PUBLIC WALKS ON THE PROPERTY. ADDITIONAL SIDEWALK WILL BE ADDED ON WOODLAWN, WHERE NONE EXISTS.
- FINAL DETAILS, DIMENSIONS AND RIGHT OF WAY TO BE DETERMINED AS ALLOWED BY ORDINANCE.
- SEE SHEET 2 FOR STORM WATER AND SWIM BUFFER REQUIREMENTS.
- DELETED - SEE SHEET TWO FOR ADDITIONAL NOTES FOR STORM-WATER NOTES.
- 25, 50 AND 100 YEAR STORMS FOR LAND DEVELOPED AS R-8 W/ LAND COVER. IN LIEU OF THE INCREASE DETENTION, THE PETITIONER MAY PROVIDE A DETAILED ENGINEERING STUDY, COMPLETED BY A PROFESSIONAL ENGINEER LICENSED IN NORTH CAROLINA WHICH SHOWS THAT THE DOWNSIDE DRAINAGE SYSTEM, IS SUFFICIENT TO CONVEY THE INCREASED FLOW GENERATED BY THE DEVELOPMENT AND WILL REMAIN IN COMPLIANCE WITH CURRENT STANDARDS.
- THE SITE SHALL BE DEVELOPED TO COMPLY WITH CHAPTER 21 OF THE CITY CODE. PROPOSED PLANTING IS CONCEPTUAL ONLY AND WILL BE SUBJECT TO CHANGE DUE TO ACTUAL SITE CONDITIONS, UTILITIES AND URBAN FORESTRY STAFF REVIEW AND APPROVAL.
- THE PROPERTY WILL BE DEVELOPED WITH ATTACHED TOWN HOMES.
- A HOMEOWNERS ASSOCIATION WILL BE CREATED TO MAINTAIN THE LANDSCAPING AND SITE.
- A BRICK AND CAST ALUMINUM SCREEN WALL MAY BE INSTALLED ALONG SELECTED AREAS AT STREET EDGES FOR PRIVACY AND SCREENING OF UNITS FROM STREET. FINAL DESIGN WILL INCORPORATE DETAILS FROM BUILDING ARCHITECTURE. STONE OR MASONRY MAY ALSO BE USED AS INDICATED. SEE SHEET 2 FOR DETAIL.
- 17.5% MINIMUM TREE SAVE AREA.
- A BUS SHELTER PAD MAY BE PROVIDED SUBJECT TO OWNER APPROVAL, SUBJECT TO LOCATIONS OF OTHER SHELTERS ALONG WOODLAWN ROAD.
- FINAL DRIVE SIZE, TYPE AND LOCATION TO BE APPROVED BY CDDT. TYPE II AS SHOWN WITH 8' RADII, TYPE III IF ALIGNED WITH ROCKFORD ROAD.
- ANY JURISDICTIONAL WETLAND OR STREAMS, IF PRESENT, NEED TO BE PROTECTED OR PROPER ENVIRONMENTAL PERMITS OBTAINED PRIOR TO THEIR DISTURBANCE.
- THE PETITIONER ACKNOWLEDGES THAT OTHER STANDARD DEVELOPMENT REQUIREMENTS IMPOSED BY OTHER CITY ORDINANCES, STANDARDS, POLICIES AND APPROPRIATE DESIGN MANUALS WILL EXIST. THOSE CRITERIA FOR EXAMPLE, THOSE THAT REQUIRE BUFFERS, REGULATE STREETS, SIDEWALKS, TREES, STORM-WATER AND SITE DEVELOPMENT, ETC) WILL APPLY TO THE DEVELOPMENT SITE. THIS INCLUDES CHAPTERS 6.1, 12.1, 14.2, 14.2.1 & 21 OF THE CITY CODE. CONDITIONS SET FORTH IN THIS PETITION ARE SUPPLEMENTAL REQUIREMENTS IMPOSED UPON THIS DEVELOPMENT IN ADDITION TO OTHER STANDARDS. WHERE CONDITIONS ON THIS PLAN DIFFER FROM ORDINANCES, STANDARDS, POLICIES AND APPROACHES IN EXISTENCE AT THE TIME OF FORMAL ENGINEERING PLAN REVIEW SUBMISSION, THE STRICTER CONDITION OR EXISTING REQUIREMENTS SHALL APPLY.
- LOCATION, SIZE AND TYPE OF ANY STORM-WATER MANAGEMENT SYSTEMS DEPICTED ON THIS PLAN IS SUBJECT TO REVIEW AND APPROVAL WITH FULL PLAN DEVELOPMENT PLAN SUBMITTAL AND IS NOT IMPLICITLY APPROVED WITH THIS ZONING. ADJUSTMENTS MAY BE NECESSARY IN ORDER TO ACCOMMODATE ACTUAL STORM-WATER TREATMENT REQUIREMENTS AND NATURAL SITE DISCHARGE POINTS.

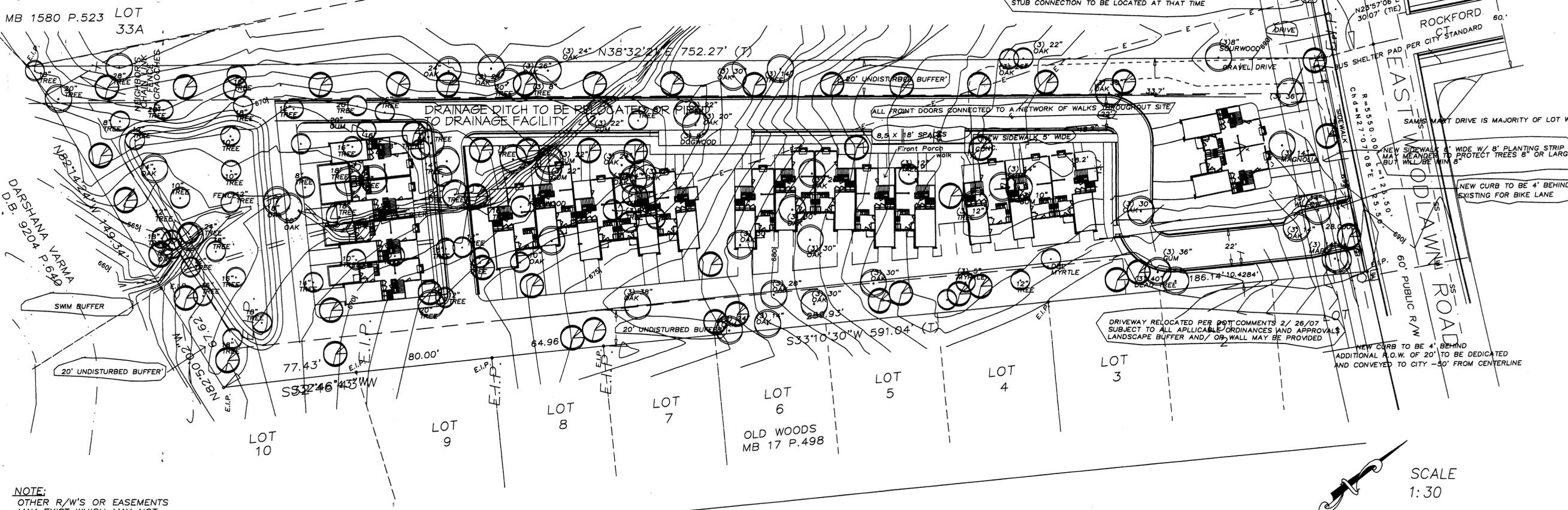


WOODLAWN OAKS SITE TABULATION

TAX ID 1701155
 ACERAGE 2.59 ACRES
 CURRENT USE - SINGLE FAMILY
 PROPOSED USE - 20 TOWNHOUSES
 F.A.R. MAX OF 1.0
 CURRENT ZONING - R-4
 PROPOSED ZONING - UR2 CD
 PARKING REQUIRED 1 SPACE MIN/ 3 SPACE MAX PER UNIT
 PARKING PROVIDED 20 IN GARAGES, 17 SURFACE PARKING
 BEHIND GARAGES AND 8 ON/OFF STREET SUBJECT TO FINAL PLAN
 NOTE: DRIVES SHALL BE LESS THAN 5' LONG OR OVER 20' LONG



THE VILLAS AT WOODLAWN OAKS



HELEN K. BEATY & ET-AL
 D.B. 5271 P.838
 MB 1580-523

SUBJECT TO FUTURE DEVELOPMENT OF ADJACENT PARCEL CURRENTLY OWNED BY OTHERS - FUTURE CONNECTION TO PRIVATE DRIVE MAY BE PROVIDED SUBJECT TO USE AND MAINTENANCE AGREEMENTS. STUB CONNECTION TO BE LOCATED AT THAT TIME.

DRIVEWAY RELOCATED PER DOT COMMENTS 2/26/07 SUBJECT TO ALL APPLICABLE ORDINANCES AND APPROVALS. LANDSCAPE BUFFER AND/OR WALL MAY BE PROVIDED.

NEW CURB TO BE 4' BEHIND ADDITIONAL R.O.W. OF 20' TO BE DEDICATED AND CONVEYED TO CITY - 30' FROM CENTERLINE.

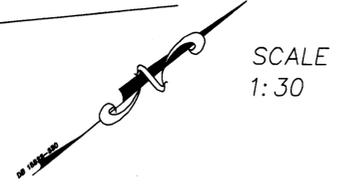
NOTE: OTHER R/W'S OR EASEMENTS MAY EXIST WHICH MAY NOT BE SHOWN.

CONTOUR INTERVAL=1 FOOT

OTHER UNDERGROUND UTILITIES MAY EXIST WHICH MAY NOT BE SHOWN.

SYMBOL LEGEND	
—P—P—	POWER POLE (P.P.)
—C—C—	CLEAN OUT (SEWER)
—M—M—	MONITORING WELL
—E—E—	ELECTRIC LINE
—E.I.P.—	EXISTING IRON PIN
—SS—SS—	SEWER LINE
—C—C—	CLEAN OUT (SEWER)
—S—S—	SEWER MANHOLE
—F—F—	FIRE HYDRANT

SITE PLAN
 1:30



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PETITION# 2007-05 FOR PUBLIC HEARING

SITE PLAN
 FEBRUARY 10, 2006
 JULY 28, 2006
 DECEMBER 15, 2006
 FEBRUARY 26, 2007
 MARCH 28, 2007

S=1