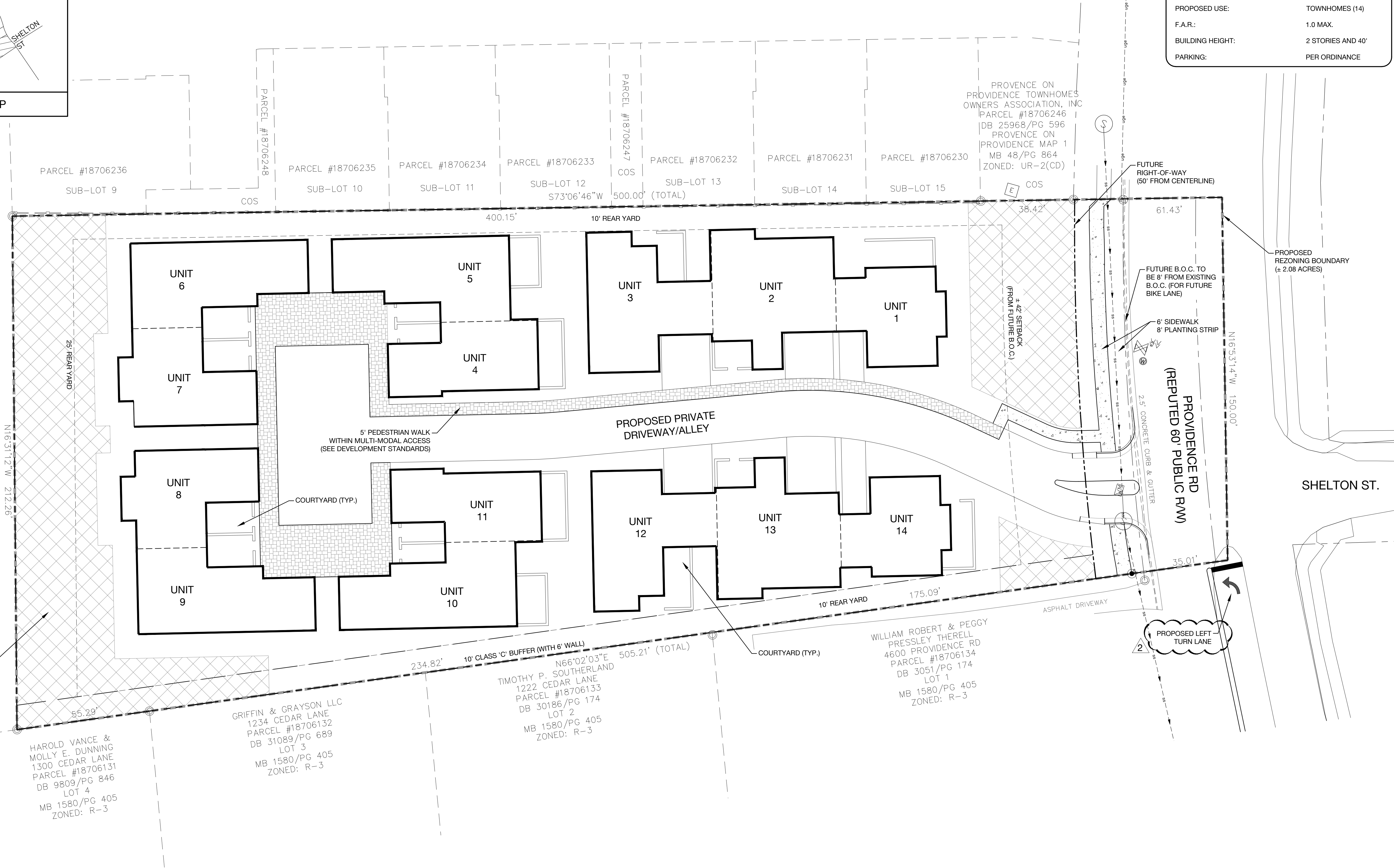


DEVELOPMENT SUMMARY	
TAX PARCEL ID #:	081-121-01 & 081-121-06
TOTAL SITE AREA:	± 2.08 ACRES
ZONING:	
EXISTING:	R-3
PROPOSED:	UR-2 (CD)
PROPOSED USE:	TOWNHOMES (14)
F.A.R.:	1.0 MAX.
BUILDING HEIGHT:	2 STORIES AND 40'
PARKING:	PER ORDINANCE

**URBAN  
DESIGN  
PARTNERS**

1318-e6 central ave. p 704.334.3303  
charlotte, nc 28205 f 704.334.3305  
urbandesignpartners.com  
nc firm no: P-0418  
sc coa no: C-03044

SUMMIT PROPERTIES  
PARTNERSHIP, L.P.  
PARCEL #18706137  
DB 7674/PG 827  
ZONED: R-17 MF(CD)



Madison Simmons  
Homes & Communities

## 4548 Providence Road

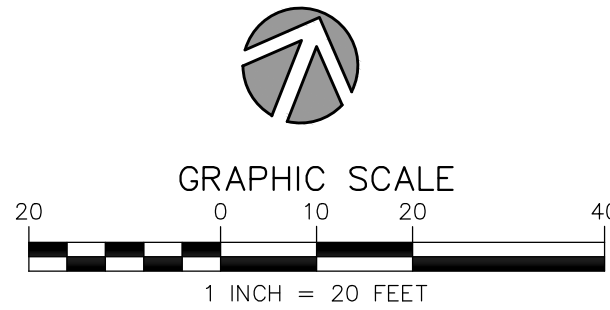
### Rezoning Site Plan

Charlotte, NC

NO.	DATE	BY:	REVISIONS:
1	12.11.17	UDP	PER CITY COMMENTS
2	01.22.18	UDP	PER CITY COMMENTS

Project No: 17-060  
Date: 10/23/2017  
Designed by: UDP  
Drawn By: UDP  
Scale: 1"=20'  
Sheet No:

# RZ-1



REZONING PETITION #2017-160



DEVELOPMENT STANDARDS

A. General Provisions

- These Development Standards form a part of the Rezoning Plan associated with the Rezoning Petition filed by Madison Simmons Homes and Communities ("Petitioner") to accommodate the development of a residential community on that approximately 2.08 acre site located on the west side of Providence Road, south of the intersection of Providence Road and Fairview Road, which site is more particularly depicted on the Rezoning Plan as (the "Site"). The Site is comprised of Tax Parcel No. 187-061-35.
- Development of the Site will be governed by the Rezoning Plan, these Development Standards and the applicable provisions of the City of Charlotte Zoning Ordinance (the "Ordinance").
- Unless the Rezoning Plan or these Development Standards establish more stringent standards, the regulations established under the Ordinance for the UR-2 zoning district shall govern the development and use of the Site.
- Future amendments or modifications to the Rezoning Plan and/or these Development Standards may be applied for by the then owner or owners of the Site in accordance with the provisions of Chapter 6 of the Ordinance. Alterations or modifications to the Rezoning Plan are subject to Section 6.207 of the Ordinance.

B. Permitted Uses

- The Site shall be devoted only to a residential community containing a maximum of 14 for sale attached dwelling units, with land for sale, and to any incidental and accessory uses relating thereto that are allowed in the UR-2 zoning district

C. Transportation

- Vehicular access to the Site shall be as generally depicted on the Rezoning Plan. The placement and configuration of the vehicular access point is subject to any minor modifications required to accommodate final site and construction plans and designs and to any adjustments required for approval by the Charlotte Department of Transportation and/or the North Carolina Department of Transportation.

- The Petitioner agrees to install a northbound left-turn lane from Providence Road as generally depicted on the Site Plan. Final design of the improvements will be coordinated with and approved by CDOT and NCDOT during the construction document and permitting process.

- The Petitioner shall dedicate and convey additional right of way along the site's frontage measuring fifty (50) feet from the centerline of the roadway as more generally depicted on the Rezoning Plan. This dedication and conveyance will be recorded prior to the issuance of the first Certificate of Occupancy.

- All transportation improvements shall be approved and constructed before the site's first building certificate of occupancy is issued.

D. Architectural Standards

- The height of the dwelling units shall be 2 stories maximum and 40' Base Height.
- Exterior Specifications will include:
  - Veneer
    - Painted brick veneer: Brick veneer shall cover all exterior surfaces with the following exceptions. Garage areas and other front façade areas may be stained or painted using wood or cement fiber board.
  - Roofing
    - Architectural asphalt shingles.
    - E.P.D.M. rubber roofing on areas over garages.
    - Main roof pitches shall be a minimum of 8/12" pitch. Secondary and rear roofing may be 4/12" pitch as to reduce the massing effect on adjoining properties.
    - Garages may have 1/4" fall per foot.
  - Exterior Trim
    - Cement board and wood fascia board, cement board or wood soffit board.
    - Operable shutters.
  - Windows/Doors
    - Primed Low-E SDL clad casement and fixed windows.
    - Wood doors.
  - Fireplaces
    - Firebox brick laid in standing running bond. Wood framed chimneys with hardcoat smooth stucco veneer.
  - Foundation
    - Finished floor elevations shall be a minimum or 18" above curb height.
    - Foundations shall be either crawl spaces or raised concrete slabs.
- For sale townhomes will include 400 square feet of private open space per subplot in accordance with Section 9.406 of the Ordinance. Private Open Space will not include any Tree Save Areas or Buffers.

E. Streetscape/Landscaping

- An 8 foot planting strip and a 6 foot sidewalk shall be installed along the Site's frontage on Providence Road. The final design will be coordinated with Planning Staff, CDOT and NCDOT during the permitting process.
- A 10' Class 'C' Buffer with a 6' masonry wall shall be installed along the southern property boundary.
- The proposed woonerf shall be designed to accommodate multi-modal access for cars, bicycles and pedestrians and shall utilize varied pavers to distinguish between travel lanes and pedestrian zones. Decorative pavers shall be a prominent paving material; however, asphalt and concrete may be used for vehicular areas. The woonerf shall provide flush pavement transitions from vehicular areas to pedestrian areas within the field of pavers. No curb transitions shall be permitted within the paver field.

- The 10 foot rear yard along the northern property line of the Site, as more particularly depicted on the site plan, shall be planted with an evergreen hedge. The hedge shall consist of large shrubs or small trees (wax myrtle or similar) planted approximately 10 feet on center and which will attain a minimum 10 foot height at time of maturity. The hedge will be placed on private lots and within a landscape easement; the Homeowners Association shall be responsible for maintenance and upkeep of the plantings and hedge. Property owners shall be prohibited from removing these plants, or topping or materially trimming/pruning portions of the plants which extend above the existing adjacent brick wall.

F. Environmental Features

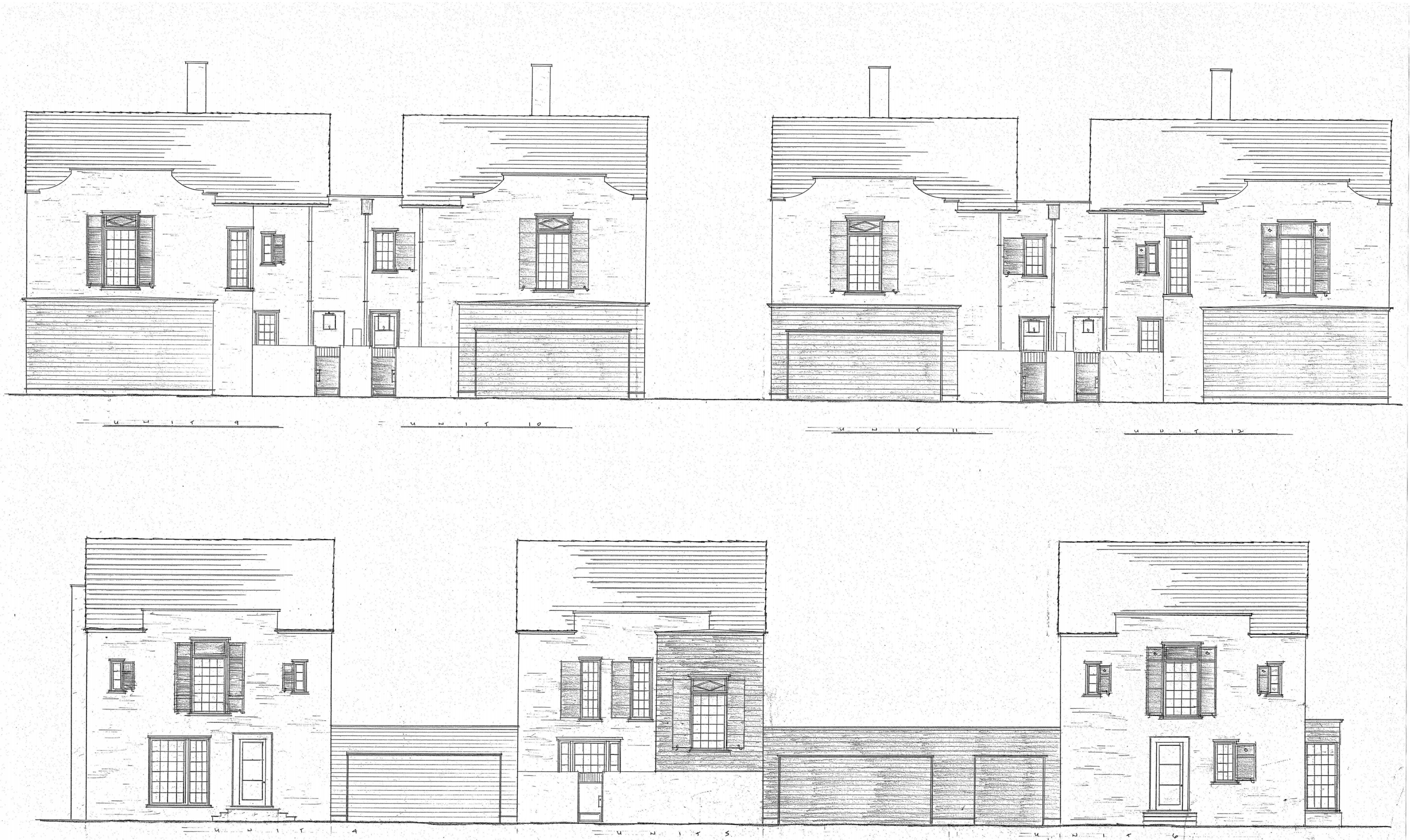
- The site will comply with the City of Charlotte Tree Ordinance.
- The site will comply with the City of Charlotte Post Construction Stormwater Ordinances.
- The Petitioner shall analyze the adequacy of the existing stormwater conveyance between the site and Cedar Lane. If the existing stormwater conveyance in this area is found to be inadequate, the Petitioner shall make a good faith effort with the property owner(s) to improve the stormwater conveyance or mitigate the stormwater discharge onto the adjoining parcels.

G. Lighting

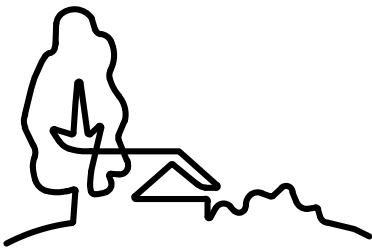
- All freestanding lighting fixtures installed on the Site (excluding lower, decorative lighting that may be installed along the driveways and sidewalks and landscaping lighting) shall be fully capped and shielded and the illumination downwardly directed so that direct illumination does not extend past any property line of the Site.
- The maximum height of any pedestrian scale, freestanding lighting fixture installed on the Site, including its base, shall not exceed 15 feet.
- Any lighting fixtures attached to the buildings to be constructed on the Site shall be decorative, capped and downwardly directed.

H. Binding Effect of the Rezoning Documents and Definitions

- If this Rezoning Petition is approved, all conditions applicable to the use and development of the Site imposed under these Development Standards and the Rezoning Plan will, unless amended in the manner provided under the Ordinance, be binding upon and inure to the benefit of Petitioner and the current and subsequent owners of the Site and their respective successors in interest and assigns.
- Throughout these Development Standards, the term "Petitioner" shall be deemed to include the heirs, devisees, personal representatives, successors in interest and assigns of Petitioner or the owner or owners of the Site from time to time who may be involved in any future development thereof.
- Any reference to the Ordinance herein shall be deemed to refer to the requirements of the Ordinance in effect as of the date this Rezoning Petition is approved.



ILLUSTRATIVE EXAMPLES  
These renderings are provided to reflect the architectural style and quality of the buildings to be constructed on the Site. The actual buildings constructed on the Site may have minor variations from these renderings, but will still adhere to the architectural standards.



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Madison Simmons  
Homes & Communities

4548 Providence Road

Development Standards  
Charlotte, NC

NO.	DATE	BY:	REVISIONS:
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Project No: 17-060  
Date: 10.23.2017  
Designed by: UDP  
Drawn By: UDP  
Scale:  
Sheet No:

RZ-2

REZONING PETITION #2017-160