

Site Development Data:

Average = 4.35 acres
Tax Parcel #: 223-141-09, 223-141-10, 223-141-11, 223-141-28, 223-141-29, and 223-141-46
Existing Zoning: R-3
Proposed Zoning: UR-2(CD)
Existing Use: Vacant/Residential

1. General Provisions:
a. Site Location: These Development Standards form a part of the Rezoning Plan associated with the Rezoning Petition filed by North State Development, LLC ("Petitioner") to accommodate the development of a townhome for sale community on approximately 4.35 acre site located at approximately 17020 Old Ardrey Kell Road, Charlotte, NC.
b. Zoning District/Ordinance: Development of the Site will be governed by the Rezoning Plan as well as the applicable provisions of the City of Charlotte Zoning Ordinance (the "Ordinance").

2. Permitted Uses & Development Area Limitation:
a. The Site may be developed with up to 35 attached for sale dwelling units, together with accessory uses allowed in the UR-2 zoning district.
3. Access and Transportation:
a. Access to the Site will be from Old Ardrey Kell Road in the manner generally depicted on the Rezoning Plan.

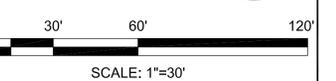
4. Architectural Standards, Court Yard/Amenity Areas:
a. The building materials used on the principal buildings constructed on Site will be a combination of portions of the following: brick, stone, precast stone, precast concrete, synthetic stone, cementitious fiber board, stucco, EIFS, decorative block and/or wood. Aluminum as a building material may only be used on windows, soffits and on handrails/railings. Vinyl siding may not be utilized as a building material.
b. The ends of the buildings facing the internal private alleys will not have blank walls that exceed 10 feet on the ground floor level and 20 feet in length on all other building levels.

5. Streetscape, Buffers, Yards, and Landscaping:
a. A setback of 30 feet as measured from the future back curb will be provided along Old Ardrey Kell Road as generally depicted on the Rezoning Plan.
b. A decorative four (4) to five (5) foot fence wall will be installed within the setback along Old Ardrey Kell Road as generally depicted on the Rezoning Plan.
c. A 25 foot side/rear yard will be provided along the Site's perimeter as generally depicted on the Rezoning Plan.

6. Environmental Features:
a. The Petitioner shall comply with the Charlotte City Council approved and adopted Post Construction Stormwater Ordinance.
b. The location, size and type of storm water management systems depicted on the Rezoning Plan are subject to review and approval as part of the full development plan submittal and are not implicitly approved with this rezoning.

7. Lighting:
a. All utilities within the Site will be placed underground.
b. All new lighting shall be full cut-off type lighting fixtures excluding lower, decorative lighting that may be installed along the driveways, sidewalks, parking areas and courtyards.
c. Detached lighting on the Site will be limited to 16 feet in height.
d. Decorative pedestrian scale lights will be provided along the internal private drives. The number and spacing of the pedestrian scale lighting will installed per Duke Energy recommended standards.

Table with 4 columns: No., Date, By, Description. Contains revision history for staff comments.



ARDREY KELL TOWNHOMES
OLD ARDREY KELL ROAD
CHARLOTTE, NC
NORTH STATE DEVELOPMENT, LLC
CORNELIUS, NC

TECHNICAL DATA SHEET
PETITION 2017-146

CORPORATE CERTIFICATIONS
NC PE - C-2930 NC LA - C-253
SC ENG - NO. 3599 SC LA - NO. 211

Project Manager: MDL
Drawn By: SCJ
Checked By: MDL
Date: 1/24/17
Project Number: 17020
Sheet Number:

RZ-1

P:\2017 Jobs\17020 - Ardrey Kell Townhomes - Norm State\CAD\Sketch Planning\17020 Rezoning Base.dwg



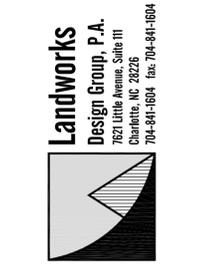
- LEGEND:**
- ROAD CENTERLINE:
 - EXISTING CURBING:
 - EXISTING BUILDINGS TO BE REMOVED:
 - EXISTING BUILDINGS:
 - PROPERTY BOUNDARY:
 - PROPOSED R/W:
 - EXISTING LOT LINE:
 - CONTOUR LINE:
 - YARD SETBACK:
 - PROPOSED BMP BOUNDARY:
 - PROPOSED BUILDING:
 - TREE SAVE AREA:
 - PROPOSED STREET TREE:

This Plan Is A
Preliminary Design.
NOT Released For
Construction.

SCALE: 1"=30'

REVISIONS:

No.	Date	By	Description
1	11/13/17	SCJ	STAFF COMMENTS
2	12/11/17	SCJ	STAFF COMMENTS
3	1/24/17	SCJ	STAFF COMMENTS



ARDREY KELL TOWNHOMES
OLD ARDREY KELL ROAD
CHARLOTTE, NC
NORTH STATE DEVELOPMENT, LLC
CORNELIUS, NC

REZONING SITE PLAN
PETITION 2017-146

CORPORATE CERTIFICATIONS
NC PE - C-2930 NC LA - C-253
SC ENG - NO. 3599 SC LA - NO. 211

Project Manager: MDL
Drawn By: SCJ
Checked By: MDL
Date: 1/24/17
Project Number: 17020

Sheet Number:
RZ-2
SHEET # 2 OF 2