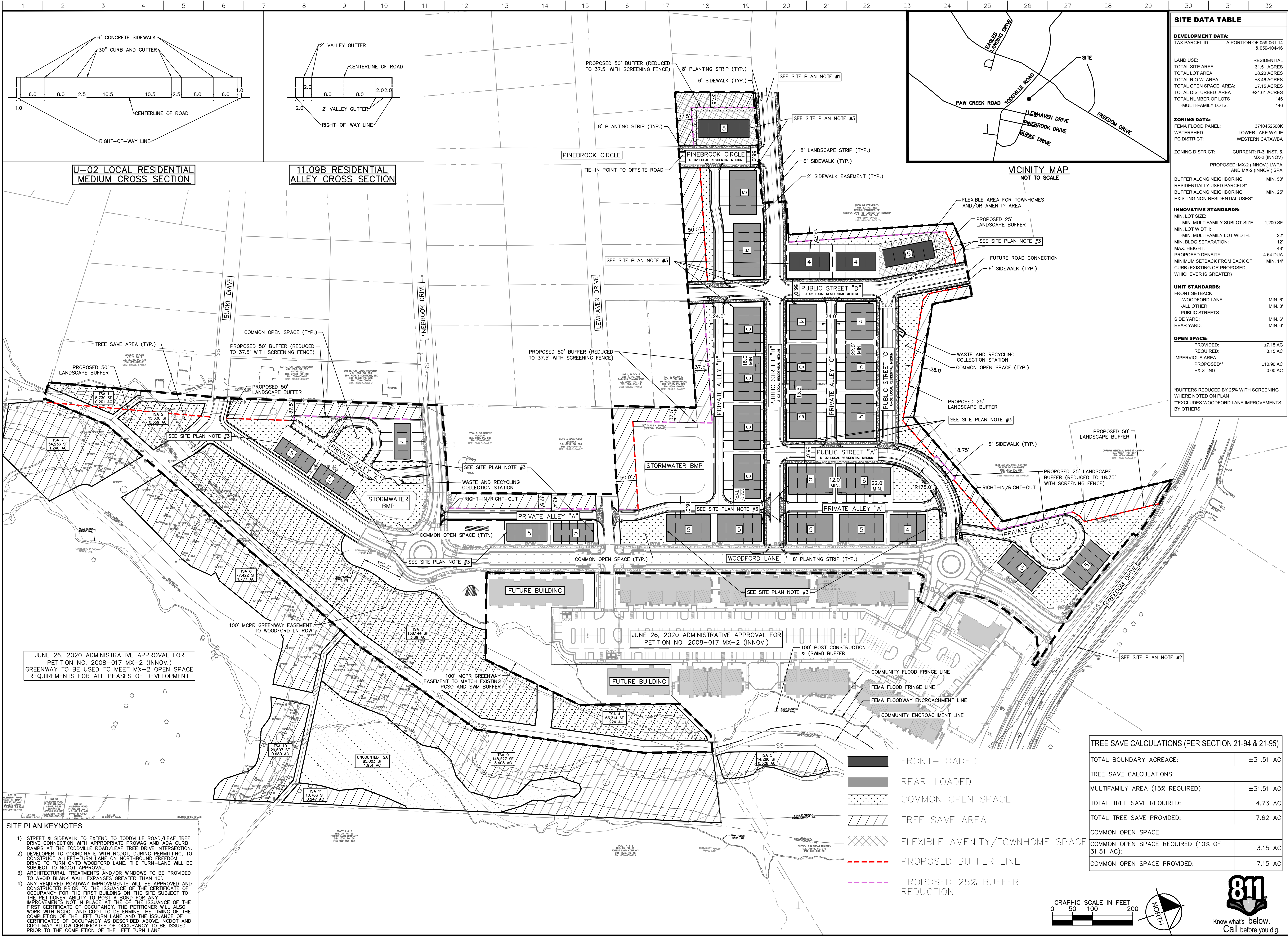




SITE DATA TABLE	
DEVELOPMENT DATA:	
TAX PARCEL ID:	A PORTION OF 059-061-14 & 059-104-16
LAND USE:	RESIDENTIAL
TOTAL SITE AREA:	31.51 ACRES
TOTAL LOT AREA:	±8.20 ACRES
TOTAL R.O.W. AREA:	±8.46 ACRES
TOTAL OPEN SPACE AREA:	±7.15 ACRES
TOTAL DISTURBED AREA:	±24.61 ACRES
TOTAL NUMBER OF LOTS:	146
-MULTI-FAMILY LOTS:	146
ZONING DATA:	
FEMA FLOOD PANEL:	3710452500K
WATERSHED:	LOWER LAKE WYLIE
PC DISTRICT:	WESTERN CATAWBA
ZONING DISTRICT:	CURRENT: R-3, INST. & MX-2 (INNOV.) PROPOSED: MX-2 (INNOV.) L/WPA AND MX-2 (INNOV.) SPA
BUFFER ALONG NEIGHBORING RESIDENTIALLY USED PARCELS*	MIN. 50'
BUFFER ALONG NEIGHBORING EXISTING NON-RESIDENTIAL USES*	MIN. 25'
INNOVATIVE STANDARDS:	
MIN. LOT SIZE:	1,200 SF
-MIN. MULTIFAMILY SUBLOT SIZE:	1,200 SF
MIN. LOT WIDTH:	22'
-MIN. MULTIFAMILY LOT WIDTH:	12'
MAX. HEIGHT:	48'
PROPOSED DENSITY:	4.64 DUA
MINIMUM SETBACK FROM BACK OF CURB (EXISTING OR PROPOSED, WHICHEVER IS GREATER)	MIN. 14'
UNIT STANDARDS:	
FRONT SETBACK:	MIN. 6'
-WOODFORD LANE:	MIN. 8'
-ALL OTHER:	MIN. 8'
PUBLIC STREETS:	MIN. 6'
SIDE YARD:	MIN. 6'
REAR YARD:	MIN. 6'
OPEN SPACE:	
PROVIDED:	±7.15 AC
REQUIRED:	3.15 AC
IMPERVIOUS AREA	PROPOSED**:
EXISTING:	±10.90 AC 0.00 AC
*BUFFERS REDUCED BY 25% WITH SCREENING WHERE NOTED ON PLAN	
**EXCLUDES WOODFORD LANE IMPROVEMENTS BY OTHERS	

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200 SOUTH TRYON ST. SUITE 200, CHARLOTTE, NC 28202
WWW.KIMLEY-HORN.COM
NC LICENSE #E-0102

REZONING PETITION
RZP-2021-119

KH PROJECT	D13594000
DATE	03/08/2022
SCALE	AS SHOWN
DESIGNED BY	CJW
DRAWN BY	CJW
CHECKED BY	JEH

REZONING PLAN

FREEDOM GREENE

TOWNHOMES

PREPARED FOR

PROFILE HOMES

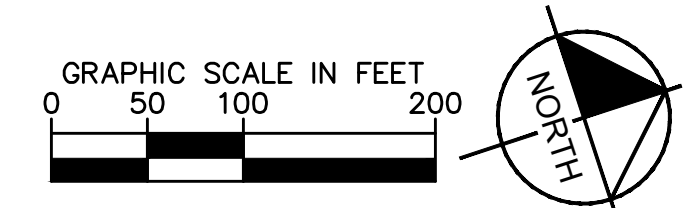
CITY OF CHARLOTTE

NORTH CAROLINA

SHEET NUMBER

RZ-1

TREE SAVE CALCULATIONS (PER SECTION 21-94 & 21-95)	
TOTAL BOUNDARY ACREAGE:	±31.51 AC
TREE SAVE CALCULATIONS:	
MULTIFAMILY AREA (15% REQUIRED)	±31.51 AC
TOTAL TREE SAVE REQUIRED:	4.73 AC
TOTAL TREE SAVE PROVIDED:	7.62 AC
COMMON OPEN SPACE	
COMMON OPEN SPACE REQUIRED (10% OF 31.51 AC):	3.15 AC
COMMON OPEN SPACE PROVIDED:	7.15 AC



Know what's below.
Call before you dig.

- SITE PLAN KEYNOTES**
- 1) STREET & SIDEWALK TO EXTEND TO TODDVILLE ROAD/LEAF TREE DRIVE CONNECTION WITH APPROPRIATE PROWAG AND ADA CURB RAMPS AT THE TODDVILLE ROAD/LEAF TREE DRIVE INTERSECTION.
 - 2) DEVELOPER TO COORDINATE WITH NCDOT, DURING PERMITTING, TO CONSTRUCT A LEFT-TURN LANE ON NORTHBOND FREEDOM DRIVE TO TURN ONTO WOODFORD LANE. THE TURN-LANE WILL BE SUBJECT TO NCDOT APPROVAL.
 - 3) ARCHITECTURAL TREATMENTS AND/OR WINDOWS TO BE PROVIDED TO AVOID BLANK WALL EXPANSES GREATER THAN 10'.
 - 4) ANY REQUIRED ROADWAY IMPROVEMENTS WILL BE APPROVED AND CONSTRUCTED PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY FOR THE FIRST BUILDING ON THE SITE. THE PETITIONER WILL ALSO WORK WITH NCDOT AND CDOT TO DETERMINE THE TIMING OF THE COMPLETION OF THE LEFT TURN LANE AND THE ISSUANCE OF CERTIFICATES OF OCCUPANCY AS DESCRIBED ABOVE. NCDOT AND CDOT MAY ALLOW CERTIFICATES OF OCCUPANCY TO BE ISSUED PRIOR TO THE COMPLETION OF THE LEFT TURN LANE.

