



VICINITY MAP
NTS

SITE DEVELOPMENT DATA

SITE DEVELOPMENT DATA:

ACREAGE: ± 60.65 ACRES

TAX PARCEL #S: 201-051-15 AND 201-051-16

EXISTING ZONING: MUDD(O) AND AIRPORT NOISE
OVERLAY WITH FIVE (5) YEAR VESTED RIGHTS

PROPOSED ZONING: MUDD(O) SPA, I-1(CD) AND
AIRPORT NOISE OVERLAY WITH FIVE (5) YEAR VESTED
RIGHTS

EXISTING USES: VACANT

PROPOSED USES: USES PERMITTED BY RIGHT AND
UNDER PRESCRIBED CONDITIONS TOGETHER
WITH ACCESSORY USES AS ALLOWED IN (I) THE
MUDD-O ZONING DISTRICT FOR THE PORTION
OF THE SITE SHOWN AS ZONED MUDD-O (AS
GENERALLY DEPICTED ON THE REZONING
PLAN), AND (II) THE I-1 ZONING DISTRICT FOR
THE PORTION OF THE SITE SHOWN AS ZONED
I-1(CD) (AS GENERALLY DEPICTED ON THE
REZONING PLAN), EACH AS MORE
SPECIFICALLY DESCRIBED WITHIN SHEET RZ-6/7
IN SECTION 3 (WHICH SHALL CONTROL).

MAXIMUM GROSS SQUARE FEET OF DEVELOPMENT:

UP TO (I) **83,000** SQUARE FEET OF GROSS
FLOOR AREA OF OFFICE/MEDICAL/BANK,
RETAIL, EATING DRINKING ENTERTAINMENT
ESTABLISHMENTS (EDEE), BREWERIES, INDOOR
RECREATION, CONVENIENCE/GASOLINE SALES
(UP TO ONE SUCH USE), PERSONAL SERVICES
AND OTHER COMMERCIAL USES (OF WHICH NO
MORE THAN 43,000 S.F. OF GROSS FLOOR AREA
MAY BE "RETAIL/RESTAURANT/PERSONAL
SERVICES" AS DESCRIBED WITHIN SHEET
RZ-6/7, SUBJECT TO CONVERSIONS AND
TRANSFER RIGHTS), (II) A HOTEL WITH UP TO
140 ROOMS, (III) UP TO **420** RESIDENTIAL
DWELLING UNITS OF ALL TYPES, EACH AS MORE
SPECIFICALLY DESCRIBED WITHIN SHEET RZ-6/7
IN SECTION 1.A AND SECTION 3 (WHICH SHALL
CONTROL); AND EACH SUBJECT TO THE
TRANSFER AND CONVERSION RIGHTS
DESCRIBED THEREIN, AND (IV) **UP TO 25,000**
SQUARE FEET OF USES PERMITTED IN I-1
ZONING DISTRICT AS DESCRIBED WITHIN
SHEETS RZ-6/7.

MAXIMUM BUILDING HEIGHT: ALLOWED BUILDING
HEIGHTS WILL BE LIMITED AS FOLLOWS: (I)
WITHIN DEVELOPMENT AREAS A AND B THE
MAXIMUM BUILDING HEIGHTS WILL BE UP TO 40
FEET, EXCEPT THAT THE BUILDING HEIGHT FOR
THE HOTEL USE ALLOWED IN DEVELOPMENT
AREA B MAY BE UP TO 85 FEET; (II) WITHIN
DEVELOPMENT AREA C THE MAXIMUM BUILDING
HEIGHTS MAY BE UP TO 55 FEET AND (III)
WITHIN DEVELOPMENT AREA E THE MAXIMUM
BUILDING HEIGHT SHALL BE AS PERMITTED BY
ORDINANCE. BUILDING HEIGHT WILL BE
MEASURED AS DEFINED BY THE ORDINANCE.

PARKING: AS REQUIRED BY THE ORDINANCE.

NO.	DESCRIPTION	DATE
1	REZONING SUBMITTAL	08.12.21
2	REZONING SUBMITTAL	01.17.22

1	201-461-17 VIEN DINH	25403-688	I-1(CD)
2	201-071-10 EASTGROUP PROPERTIES	30682-99	I-1(CD)
3	201-084-99 ASSOCIATION WILLIAMS GLENN	12615-120	R-4(CD)
4	201-084-98 ASSOCIATION WILLIAMS GLENN	12615-120	R-4(CD)
5	201-084-40 DANIER PORTILLO	33121-725	R-4(CD)
6	201-084-41 RHONDA M PAUL	21672-380	R-4(CD)
7	201-054-03 SBA INFRASTRUCTURE LLC	21616-358	O-1(CD)
8	201-041-13 OLYMPIC CORPORATE CENTER LLC	11140-169	O-1(CD)
9	201-013-47 KENNETH D GOODMAN	12922-788	R-3
10	201-013-48 TERESA SUE PATRICK	13245-386	R-3
11	201-013-49 KELSEY ANN MAGRAW	32516-74	R-3
12	201-013-51 ALTO ASSET COMPANY 2 LLC	34379-578	R-3
13	201-013-52 OSCAR MENENDEZ	20486-910	R-3
14	201-013-53 TRAVIS L CARTER	34166-214	R-3
15	201-013-64 TASHHEENA L COCHRAN	30013-77	R-3
16	201-014-01 MARGARET E CASSEM	30779-57	R-3
17	201-053-01 STEELE CREEK (1997) LP	09064-072	N/A
18	201-014-21 OLYMPIC CORPORATE CENTER I LLC	08037-080	O-1(CD)

NOT FOR
CONSTRUCTION

STEELE CREEK
(1997), LLC

CHARLOTTE, NC
REZONING #2021-195
SPA ARROWOOD ROAD & I-485

1019251

REVISION / ISSUANCE

DESIGNED BY:	XX
DRAWN BY:	XX
CHECKED BY:	XX

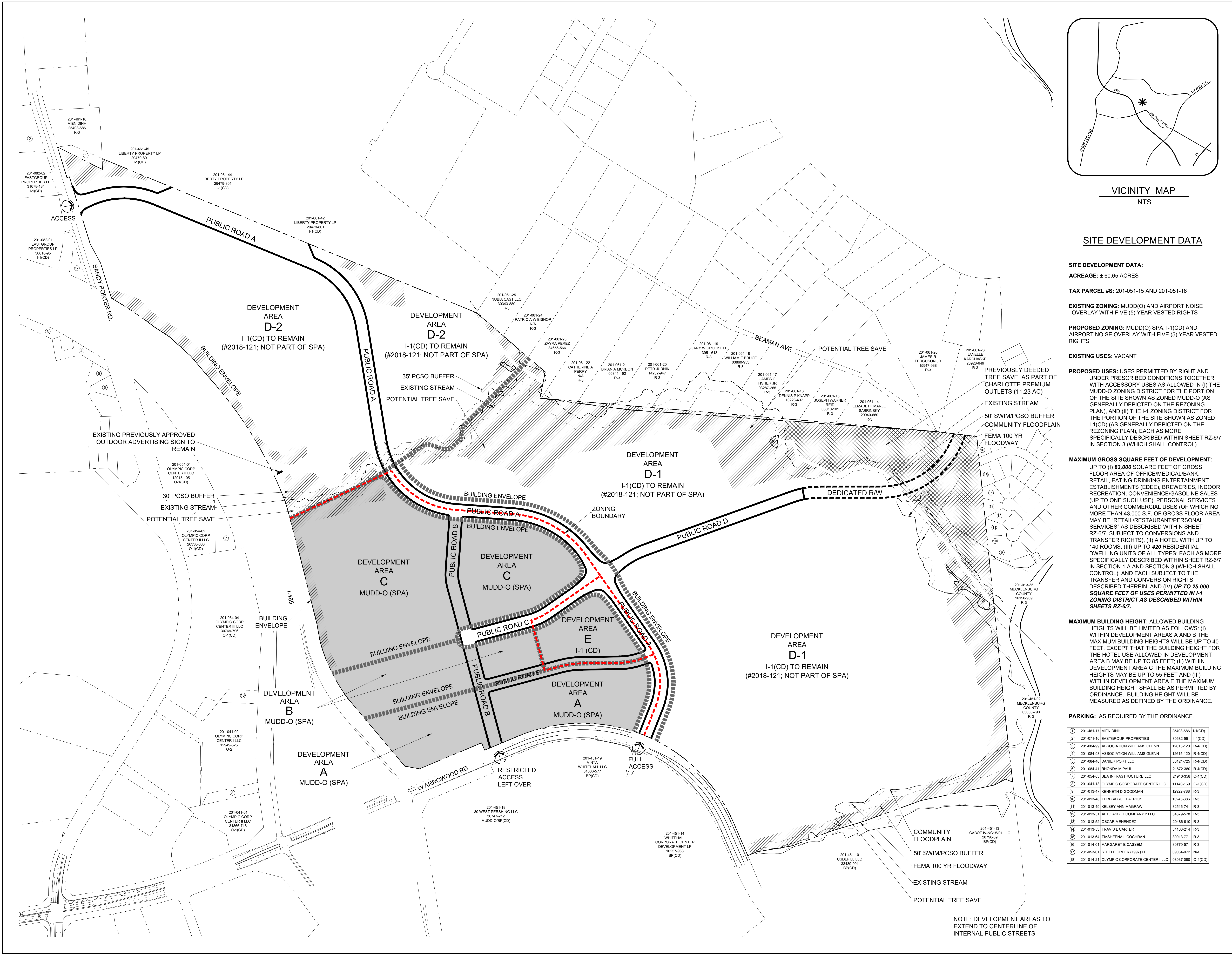
SCALE

VERT: N/A
HORZ: 1"=200'
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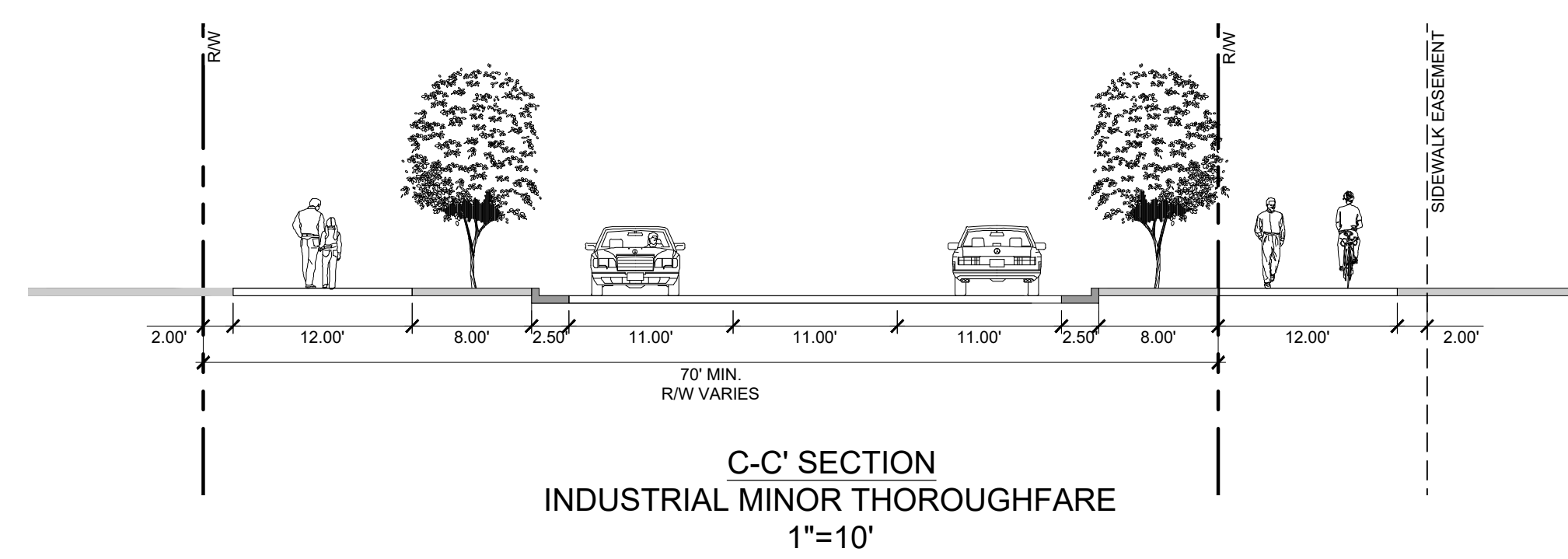
TECHNICAL DATA

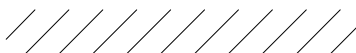
SHEET NUMBER

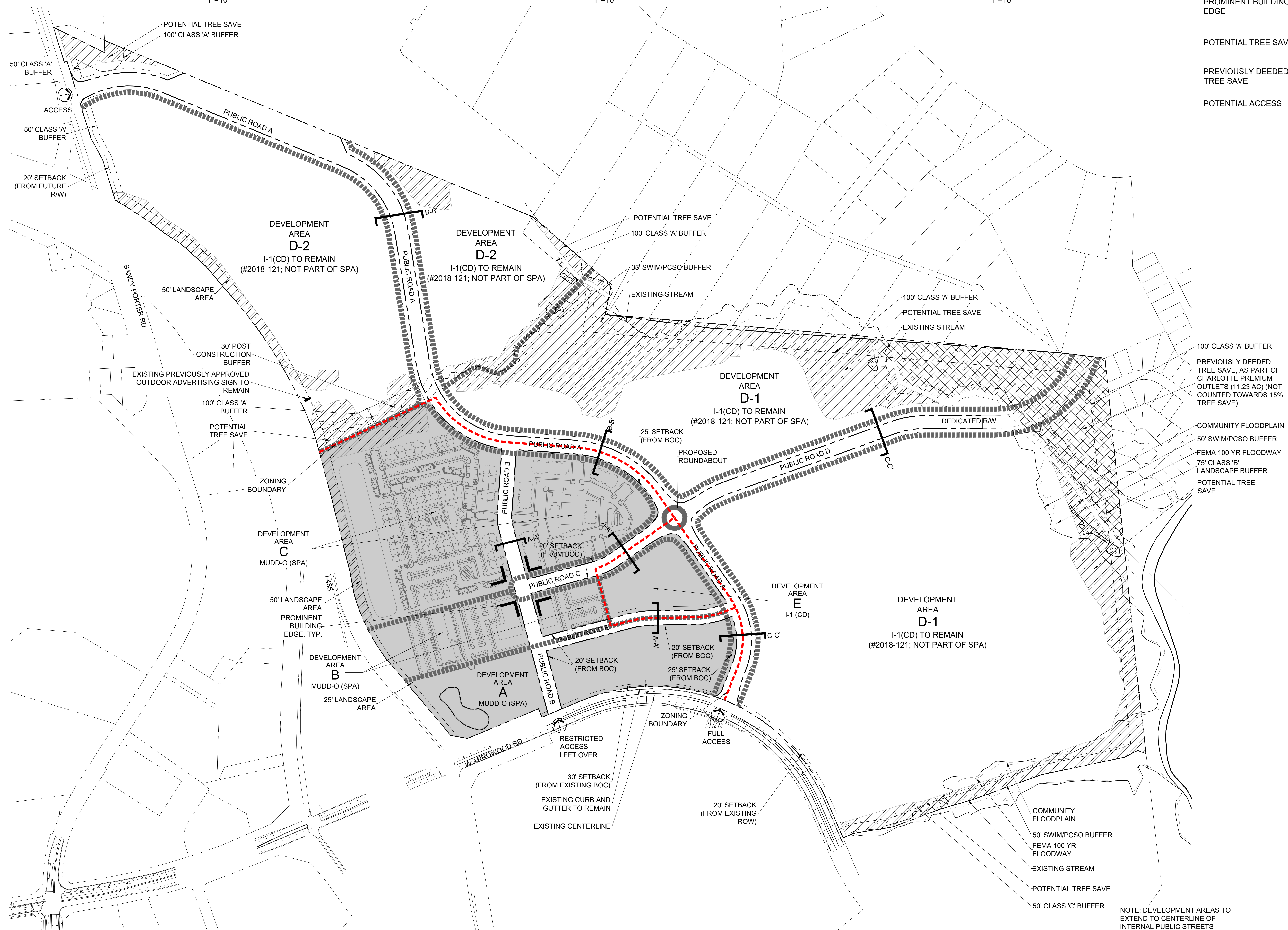
RZ-1



NOTE: DEVELOPMENT AREAS TO
EXTEND TO CENTERLINE OF
INTERNAL PUBLIC STREETS



- | | |
|-----------------------------|---|
| PROPERTY LINE |  |
| BUILDING ENVELOPE |  |
| ZONING BOUNDARY |  |
| PROMINENT BUILDING EDGE |  |
| POTENTIAL TREE SAVE |  |
| PREVIOUSLY DEEDED TREE SAVE |  |
| POTENTIAL ACCESS |  |



RZ-2

LEGEND

- PROPERTY LINE
BUILDING ENVELOPE
ZONING BOUNDARY
POTENTIAL TREE SAVE
PREVIOUSLY DEEDED TREE SAVE
- 100' CLASS 'A' BUFFER
12 TREES PER 100 LF
60 SHRUBS PER 100 LF
- 50' CLASS 'A' BUFFER
6 TREES PER 100 LF
30 SHRUBS PER 100 LF
- 75' CLASS 'B' BUFFER
12 TREES PER 100 LF
40 SHRUBS PER 100 LF
- 50' CLASS 'C' BUFFER
9 TREES PER 100 LF
20 SHRUBS PER 100 LF
- I-485 LANDSCAPE AREA

REVISED

SEAL

NOT FOR
CONSTRUCTION

PROJECT

STEELE CREEK
(1997), LLC

CHARLOTTE, NC
REZONING #2021-195
SPA ARROWOOD ROAD & I-485

LANDDESIGN PROJ #
1019251

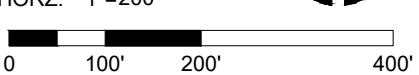
REVISION / ISSUANCE

NO.	DESCRIPTION	DATE
1	REZONING SUBMITTAL	08.12.21
2	REZONING SUBMITTAL	01.17.22
3	REZONING SUBMITTAL	02.14.22

DESIGNED BY: XX
DRAWN BY: XX
CHECKED BY: XX

SCALE

VERT: N/A
HORZ: 1"=200'

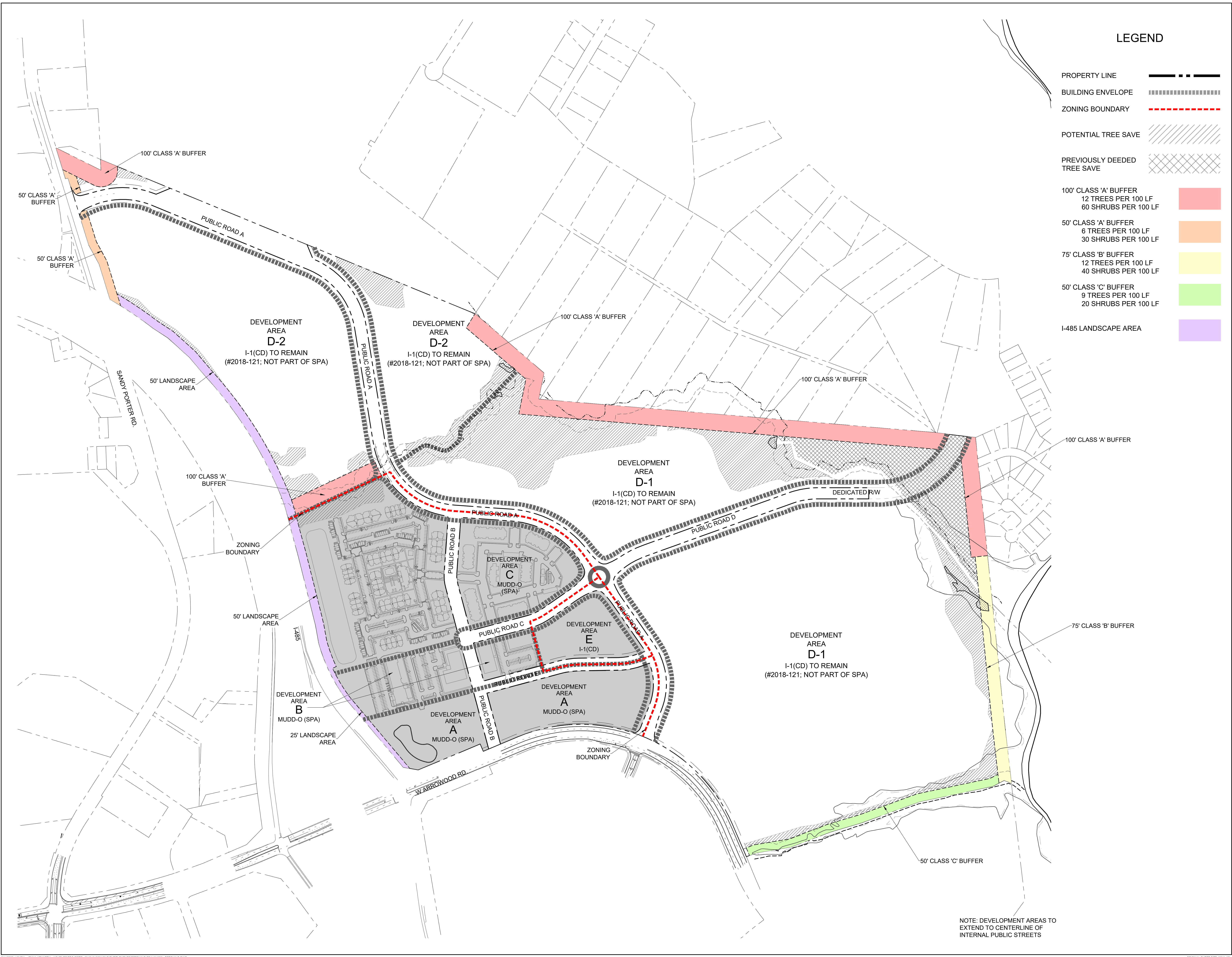


SHEET TITLE

PROPOSED BUFFER &
LANDSCAPE AREAS

SHEET NUMBER

RZ-3



REV 10/01

SEAL

NOT FOR
CONSTRUCTION

PROJECT

STEELE CREEK
(1997), LLC

CHARLOTTE, NC
REZONING #2021-195
SPA ARROWOOD ROAD & I-485

LANDDESIGN PROJ #

1019251

REVISION / ISSUANCE

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DESIGNED BY: XX
DRAWN BY: XX
CHECKED BY: XX

SCALE

VERT: N/A
HORZ: N/A

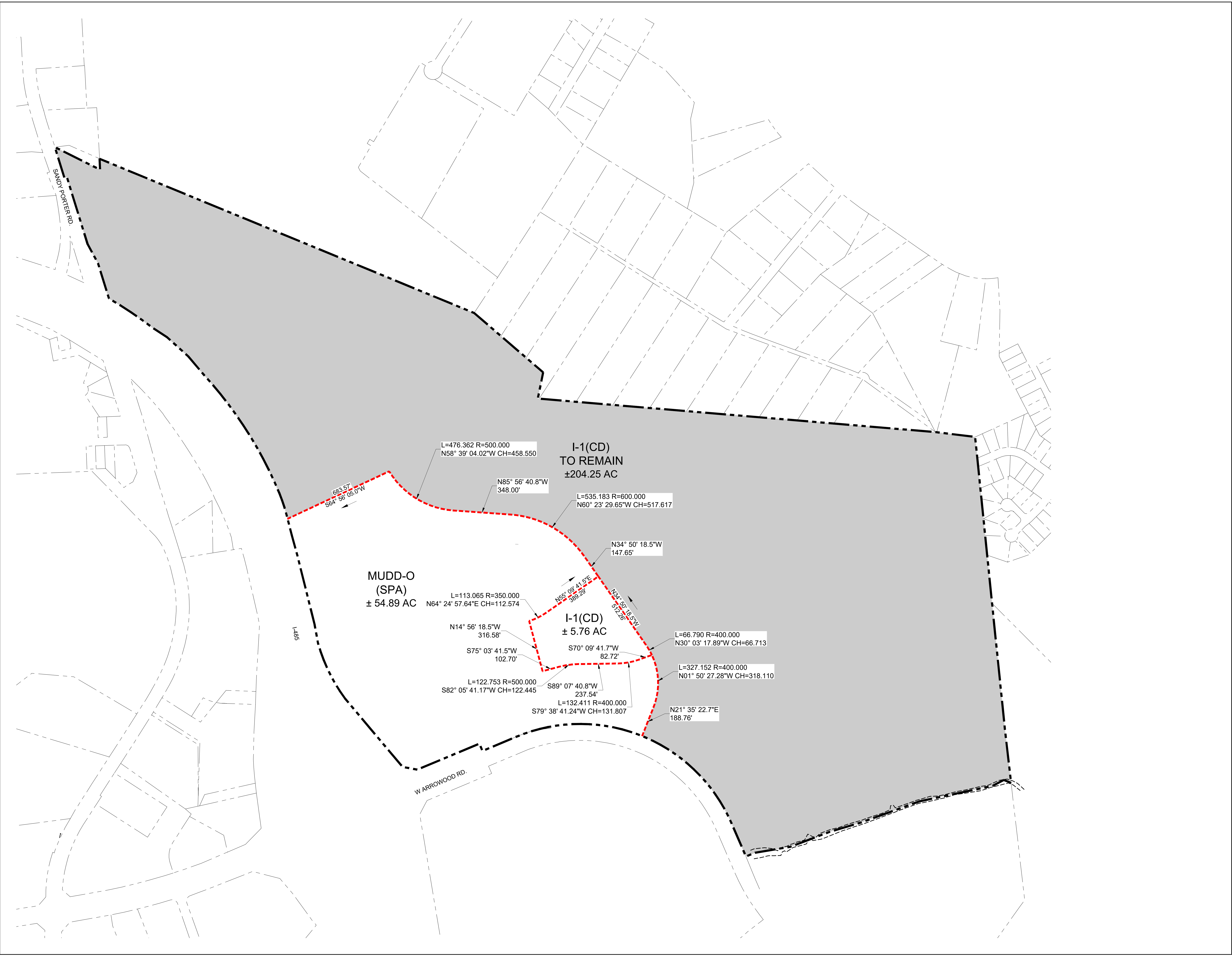


SHEET TITLE

ZONING BOUNDARY

SHEET NUMBER

RZ-4



ORIGINAL SHEET SIZE: 30" X 42"

- III. I-1(CD) Zoned Areas.** The following provisions of this Section 5.III. shall apply to development within the I-1(CD) zoned area only.

b. Screening of Structures. Meter banks, transformers and similar utility structures will be screened where visible from public view at grade level, provided, however, that for any such structures located within loading areas, the Ordinance required screening for such loading areas shall also suffice as the required screening for such structures.

d. **Mechanical Equipment Screening.** Roof top HVAC and related mechanical equipment will be screened from public view at grade level on the Site.

f. **Screening of Loading Areas.** In the event that loading areas are not placed to the rear of the building and away from public or private network required streets, a forty (40) foot landscape area shall be provided to screen the loading area.

6. Streetscape, Landscaping and Buffer:

i. At the request of Mecklenburg County Park & Recreation, the Petitioner shall reserve an area for an easement for the sole purpose of supporting the installation of a twelve foot (12') wide multi-use path along the Site's Arrowwood Row frontage. The twelve foot (12') multi-use path will augment or replace the six (6') foot sidewalk required as part of this Rezoning Petition, and shall be installed by and at the cost of others as part of an approved greenway connection project. In no event shall the reserved area for and the easement itself be greater than six feet (6') in width or extend greater than 10 feet (10') into the proposed Arrowwood Row setback.

c. **Public Roads B and C.** Along Public Roads B and C within Developments Areas A, B and C a twenty (20) foot setback as measured from the back of curb will be provided. An eight (8) foot planting strip and a six (6) foot sidewalk will be provided along both sides of Public Roads B and C. Sloops and stairs providing access to and from the buildings to the sidewalk may be located within the interior six (6) feet of the setback.

c. **Retaining Walls.** Retaining walls located along the Site's Public Roads will not exceed six (6) feet in height; if due to the proposed grades retaining walls over six (6) feet are required along a public road the retaining walls will be tiered so no single wall will exceed a height of six (6) feet. When the total wall height exceeds six (6) feet, articulation will be provided at twenty (20) foot intervals. Retaining walls should be offset a minimum of five (5) feet from the back of sidewalk.

f. Buffer and/or Landscape Areas.

- i. A 50 foot wide landscape area shall be provided along western property line adjacent to I-485 in Development Areas C as generally depicted on the Rezoning Plan. The landscape area shall include existing vegetation.
- ii. A 100 foot wide landscape area planned to Class A buffer standards shall be provided between Development Areas C as generally depicted on the Rezoning Plan.
- iii. A 25 foot wide landscape area shall be provided along the western property line adjacent to I-485 in Development Areas A & B along western property line as generally depicted on the Rezoning Plan. The landscape area shall include existing vegetation.

All buffers can be reduced per the provisions of the Ordinance.

7. Environmental Features

a. **Post Construction Ordinance.** The Petitioner shall comply with the Charlotte City Council approved and adopted Post Construction Controls Ordinance.

b. **Storm Water Approval.** The location, size, and type of storm water management system depicted on the Rezoning Plan are subject to review and approval as part of the full development plan submittal and are not implicitly approved with this rezoning. Adjustments may be necessary in order to accommodate actual storm water treatment requirements and natural site discharge points.

c. **Tree Ordinance.** The Site will comply with the Tree Ordinance. The tree save generally depicted is also inclusive of tree save requirements as set forth in Petition 2013-001.

8. Signage:

a. Signage as allowed by the Ordinance and by the Optional Provisions listed above may be provided.

9. CATS:

a. At the request of CATS, the Petitioner shall install two (2) standard concrete bus waiting pads along the Arrowood Road frontage in locations reasonably acceptable to CATS and the Petitioner. Installation of the pads shall take place prior to issuance of the first certification occupancy for the first building within Development Area A.

10. Lighting:

a. All new lighting shall be full cut-off type lighting fixtures excluding lower, decorative lighting that may be installed along the driveways, sidewalks, and parking areas in the MUDD-O portion of the Site.

b. Detached lighting, except street lights located along Public Roads, will be limited to 25 feet in height in the portions of the MUDD-O area used for non-residential uses and 20 feet in height in the portions of the MUDD-O area used for residential uses.

11. Amendments to the Rezoning Plan:

a. Future amendments to the Rezoning Plan (which includes these Development Standards) may be applied for by the then Owner or Owners of the applicable Development Area portion of the Site affected by such amendment in accordance with the provisions herein and of Chapter 6 of the Ordinance.

12. Binding Effect of the Rezoning Application:

a. If this Rezoning Petition is approved, all conditions applicable to the development of the Site imposed under the Rezoning Plan will, unless amended in the manner provided herein and under the Ordinance, be binding upon and inure to the benefit of the Petitioner and subsequent owners of the Site and their respective heirs, devisees, personal representatives, successors in interest or assigns.

KEY MAP

SEAT

**NOT FOR
CONSTRUCTION**

**STEELE CREEK
(1997), LLC**

CHARLOTTE, NC
REZONING #2021-195
SPA ARROWOOD ROAD & I-485

LAND DESIGN PROJ A

[illegible]

DESIGNED BY:
DRAWN BY:
CHECKED BY:

SCALE: _____ NORTH: _____

VERT: N/A
HORZ: N/A



SHEET TITLE

DEVELOPMENT STANDARDS

SHEET NUMBER

RZ-7