



NO.	DATE	DESCRIPTION
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003	03.15.2017	REVISED PER CITY COMMENTS
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049	03.15.2017	REVISED PER CITY COMMENTS
050	03.15.2017	REVISED PER CITY COMMENTS

DATE: 03.15.2017  
DRAWN BY: J. LEE  
CHECKED BY: J. LEE  
PROJECT NO.: 17-001  
PROJECT NAME: TRYON PLACE  
CLIENT: RBC CORP. / RBC REST  
DESIGNER: LITTLE ARCHITECTURAL

TRYON PLACE  
OFFICE  
600 EAST TRYON STREET  
CHARLOTTE, NC 28202

132,915,000  
TECHNICAL DATA SHEET

PD 073-031-18, 24 & 26  
City of Charlotte  
600 East Fourth Street  
Charlotte, NC 28202

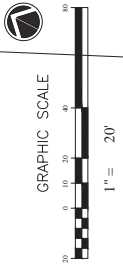
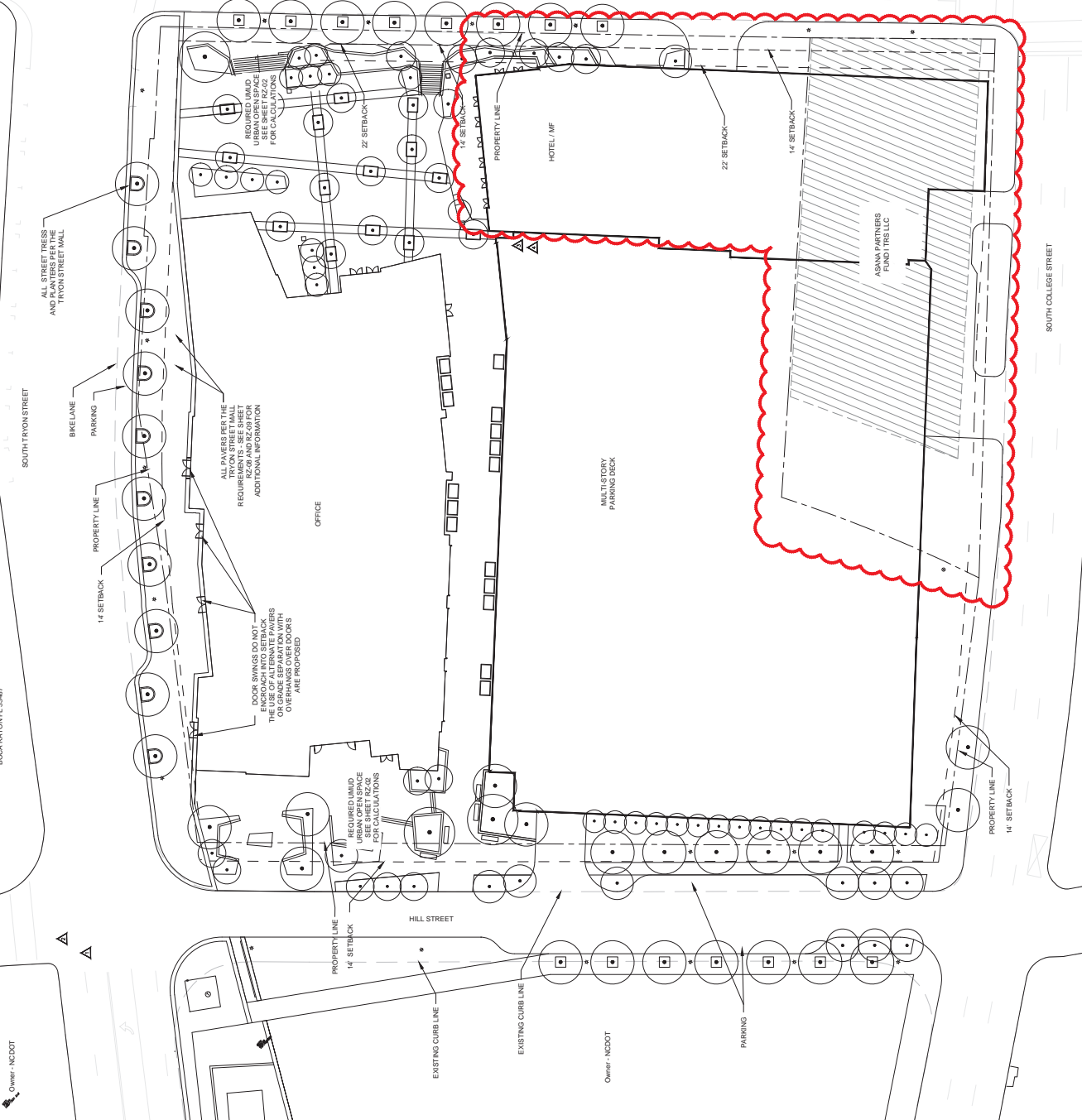
PD 073-031-02, 10-17, 19-23, 25, & 27  
RBC Corp. CO Washovia Corp. REST  
201 North Tryon Street, 21st Floor  
Charlotte, NC 28202

PD 125-053-01 & 10  
RBC Corp. CO Washovia Corp. REST  
201 North Tryon Street, 21st Floor  
Charlotte, NC 28202

PD 125-053-09  
City of Charlotte  
600 East Fourth Street  
Charlotte, NC 28202

PD 125-052-02  
City of Charlotte  
600 East Fourth Street  
Charlotte, NC 28202

PD 125-125-06-11  
Parsman Holdings LP Support  
300 Washovia Street  
Atlanta, GA 30308



ALL STREET TREES AND PLANTINGS TO BE PLANTED BY THE CONTRACTOR AT THE PROPERTY LINE.

BIKELANE PARKING

PROPERTY LINE

14' SETBACK

REQUIRED MAINT URBAN OPEN SPACE FOR CALCULATIONS

ALL PAVES PER THE TRYON STREET MALL REQUIREMENTS. SEE SHEET FOR ADDITIONAL INFORMATION.

DOOR SWINGS DO NOT USE THE USE OF ALTERNATE PAVERS OR GRADE SEPARATION WITH CURBS UNLESS OTHERWISE PROPOSED.

OFFICE

PROPERTY LINE

14' SETBACK

REQUIRED MAINT URBAN OPEN SPACE FOR CALCULATIONS

HILL STREET

EXISTING CURB LINE

EXISTING CURB LINE

PARKING

MULTI-STORY PARKING DECK

PROPERTY LINE

14' SETBACK

ASNA PARTNERS FUND TRS LLC

PROPERTY LINE

14' SETBACK

SOUTH COLLEGE STREET

PROPERTY LINE

14' SETBACK

PD 073-026-01 LC  
660  
902 CLINTMOORE RD  
SUITE 220  
BOCA RATON FL 33487

Owner - NCDOT

Owner - NCDOT

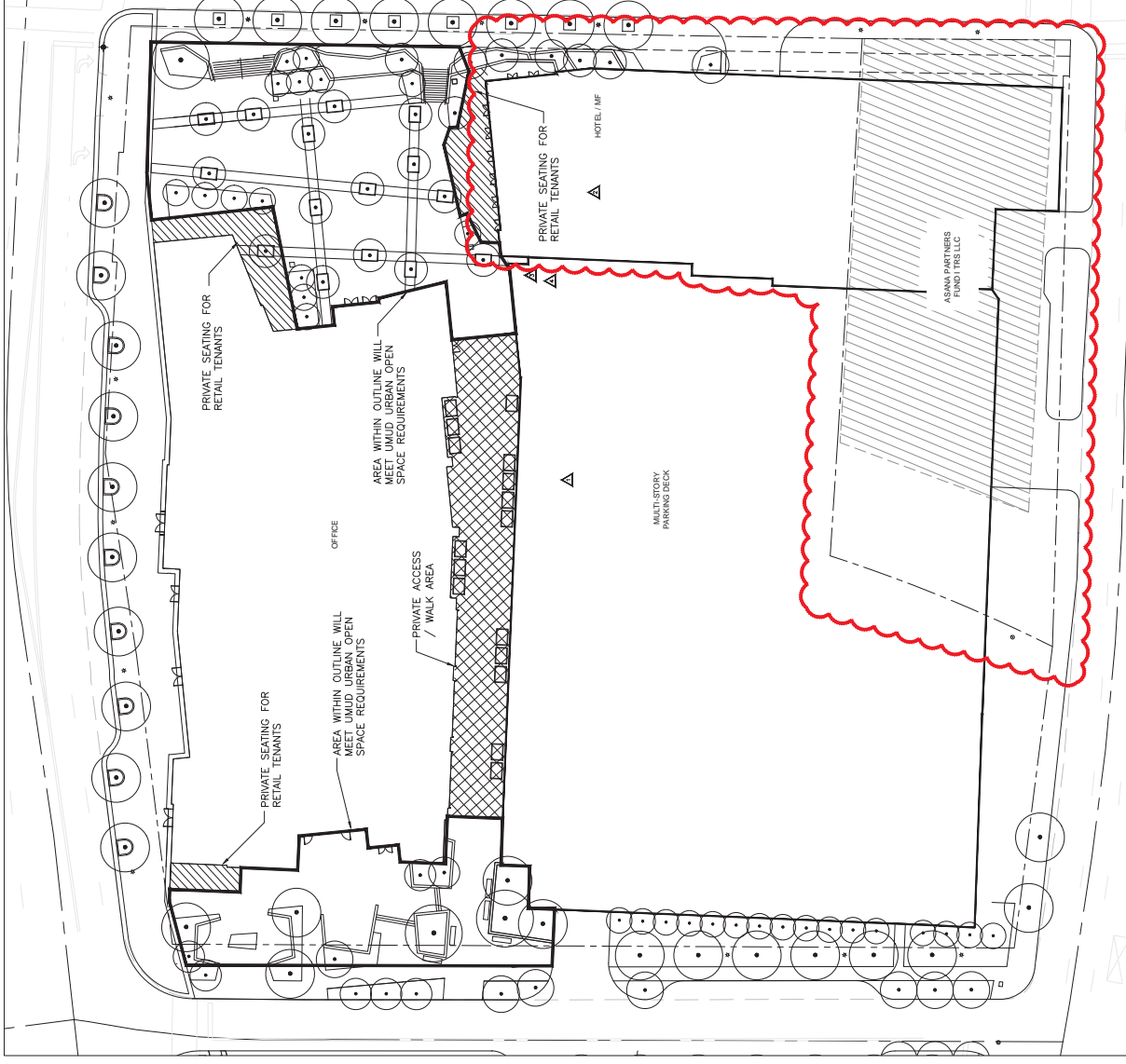
Owner - NCDOT



NO.	DESCRIPTION	DATE	BY	CHK'D BY
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003	REVISION	03/11/14	ML	ML
004	REVISION	03/11/14	ML	ML
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019	REVISION	03/11/14	ML	ML
020	REVISION	03/11/14	ML	ML

REVISIONS  
DATE: 03/11/14  
BY: ML  
CHK'D BY: ML

PROJECT NO.	132.9153.00
PROJECT NAME	DEVELOPMENT AND CONSTRUCTION OF A 100,000 SQ. FT. OFFICE BUILDING WITH 100 CAR PARKING AND 100 BICYCLE RACKS
CLIENT	ASANA PARTNERS FUND I TRS LLC
ARCHITECT	LITTLE ARCHITECTURAL
DATE	03/11/14
SCALE	AS SHOWN
PROJECT LOCATION	1111 EAST 10TH STREET, SUITE 200, CHARLOTTE, NC 28202
PROJECT NO.	132.9153.00
PROJECT NAME	DEVELOPMENT AND CONSTRUCTION OF A 100,000 SQ. FT. OFFICE BUILDING WITH 100 CAR PARKING AND 100 BICYCLE RACKS
CLIENT	ASANA PARTNERS FUND I TRS LLC
ARCHITECT	LITTLE ARCHITECTURAL
DATE	03/11/14
SCALE	AS SHOWN
PROJECT LOCATION	1111 EAST 10TH STREET, SUITE 200, CHARLOTTE, NC 28202



**DEVELOPMENT DATA TABLE**

Site Area:	3.5 acres +/-
Tax Parcels:	125-121-01, 125-121-02, 125-121-03, 125-121-05
Existing Zoning:	UMUD and UMUD-O
Proposed Zoning:	UMUD-O and UMUD-O (SPA)
Existing Uses:	Office, Vacant Buildings and Surface Parking Lots
Proposed Use:	Office
Permitted Uses:	All Uses Permitted in UMUD District
Maximum Floor Area:	N/A
Maximum Square Footage:	N/A
Maximum Building Height:	N/A
Parking:	Must satisfy or exceed UMUD minimum requirements

1. **General Provisions**

The following Development Standards are taken from the originally approved Rezoning Petition 2014-079. The minor modification associated with this rezoning are depicted on circled language below. The purpose of this Site Plan Amendment is to obtain approval of additional "optional" provisions allowing from certain provisions of the City of Charlotte Zoning Ordinance (the "Ordinance") as allowed by Section 9-908 of the Ordinance to provide additional development flexibility which will facilitate the development of a 3.5 +/- acre property bounded by Tryon Street, Stonewall Street, College Street and Hill Street in the City of Charlotte comprised of Mecklenburg County Tax Parcel 125-121-01, 125-121-02, 125-121-03, 125-121-05 and 125-121-06. The rezoning is shown on the attached map and is identical to the Development Standards in Rezoning Petition 2014-079. To be clear, provisions of Rezoning Petition 2014-079 are set forth below for ease of recognition. They do not create new entitlements in addition to those in Rezoning Petition 2014-079.

If the Petitioner seeks to take advantage of any of the "Optional" provisions approved as part of the Rezoning Petition, development of the Site will be governed by the accompanying Technical Data Sheet, these Development Standards (including any Optional provisions utilized) and the applicable provisions Ordinance. The development depicted on the Technical Data Sheet is intended to reflect, in general terms, the arrangement, location and design of the component parts and street improvements for the Site as if the Optional provisions requested in these Development Standards are implemented.

However, any deviations from the UMUD minimum standards are Optional in nature and relate only to the development and street improvements proposed by the accompanying Technical Data Sheet and these Development Standards. The Site may also be developed in accordance with the standard UMUD minimum standards and the minimum standards and the minimum standards of the City of Charlotte, including, but not limited to, the provisions of the Ordinance, the provisions of the Technical Data Sheet and the provisions of the City of Charlotte codes, ordinances and policies as if no Optional provision had been applicable.

Except as otherwise provided under the UMUD-Optional provisions set forth under Paragraph 2 of these Development Standards and unless the accompanying Technical Data Sheet or these Development Standards establish more stringent standards, the regulations established under the Ordinance for the UMUD Zoning District shall govern all development taking place on the Site.

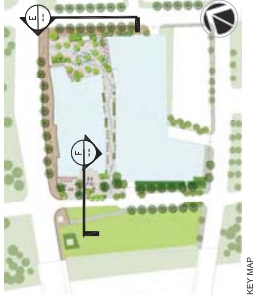
Alterations or modifications which, in the opinion of the Planning Director, substantially alter the character of the development or significantly differ from the provisions of the Technical Data Sheet or its respective conditions shall not be deemed to be minor and may only be made in accordance with the provisions of subsections 6.207(1) or (2) of the Ordinance, as applicable.
2. **UMUD-Optional Provisions**

Pursuant to the Optional provisions of Section 9-908 of the Ordinance, the Petitioner seeks approval of the following UMUD-Optional provisions to allow deviations from specific provisions of the Ordinance in order to accommodate the development depicted on the Technical Data Sheet:

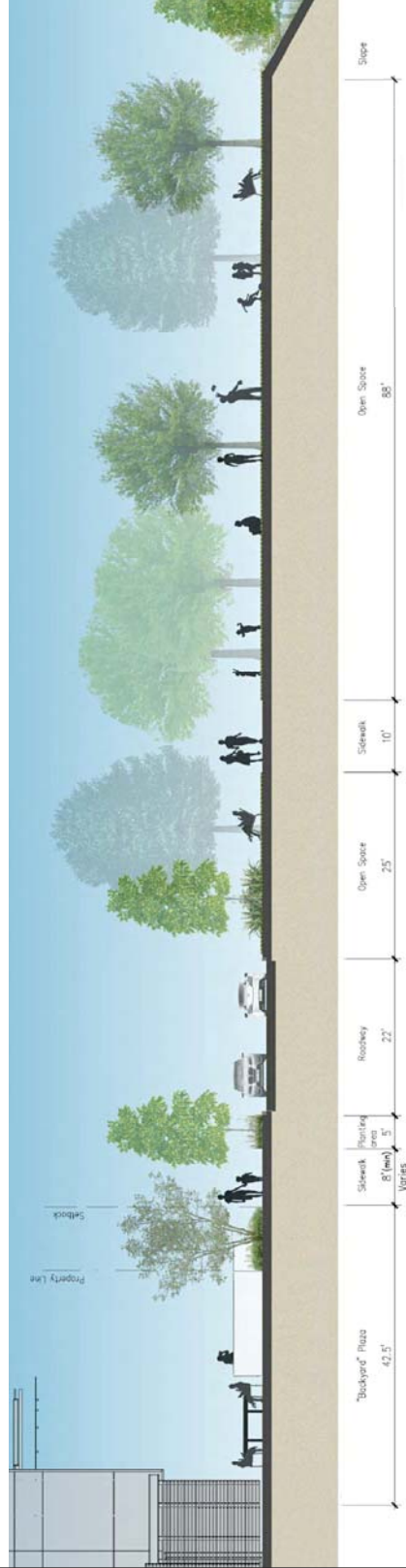
  - (a) Deviations from the signage standards established under Section 9-906(e) of the Ordinance to allow up to two attached electronic signs to be used in addition to the maximum sign area and height limits and to be illuminated. This signage shall be limited to building identification, identification, and artistic/civic/cultural displays or messages. Off-premises Signs and Outdoor Advertising Signage shall not be permitted.
  - (b) Deviations from the signage standards established under Section 9-906(e) of the Ordinance to allow up to 3,000 square feet of wall signage per street frontage (in addition to any approved electronic signs (video or LED)). Signage shall be located within the sign zones shown on RZ-06 and RZ-07. Design and location of a master sign plan shall be reviewed and approved by the Planning Department prior to application for sign permits. This signage shall be limited to building identification, tenant identification, and artistic/civic/cultural displays or messages. Off-premises signs and Outdoor Advertising Signage shall not be permitted.
  - (c) Deviations from the street right-of-way and streetscape requirements established under Section 9-906(d)(1) of the Ordinance in order to accommodate temporary retail vendor zones, within the right-of-way or setbacks, subject to the approval of any necessary Encroachment Permits and the approval of the Planning Director. This signage shall be limited to building identification, identification, and artistic/civic/cultural displays or messages. Off-premises signs and Outdoor Advertising Signage shall not be permitted.
  - (d) Deviations from the street right-of-way and streetscape requirements established under Section 9-906(d)(2) of the Ordinance to remove the requirement to provide furniture or benches within the right-of-way along the Site's Tryon Street frontage.
  - (e) Deviations from the setback requirements established under Section 9-906(d) of the Ordinance, and any applicable streetscape plans in order to allow a reduced setback (measured from the back of curb along Stonewall Street) for portions of the 50-foot frontages of the 100,000 sq. ft. office building. The reduced setback shall be limited to retaining walls and other features necessary to accommodate the publicly accessible plaza on-grade with Tryon Street, no buildings shall be permitted in the reduced setback area. Walks within the reduced setback area shall incorporate plantings, integrated seating, or other features to stimulate pedestrian interest; all as generally depicted on RZ-03, RZ-04, RZ-05 and RZ-09. Additionally, such walls shall be made of decorative architectural precast or stone or other natural materials, or a combination thereof.
  - (f) Deviations from the urban open space seating and tree requirements established under Sections 9-906(d)(d) and (e) of the Ordinance to permit passive seating and tree requirements in the urban open space areas. The minimum UMUD urban open space requirements shall be met within parking and tree requirements are generally identified on RZ-02.
  - (g) Deviations from the loading standards established under Section 9-907(c) of the Ordinance to allow a 50% reduction in the number required of loading spaces.
  - (h) To allow for a ten (10) foot overhead encroachment into the twenty-two (22) foot setback area along Stonewall Street, as generally depicted on Sheet RZ-01, RZ-04, and RZ-11 of the Rezoning Plan. To be clear, this encroachment area shall not be permitted at the building's base level.



# STREET CROSS SECTIONS



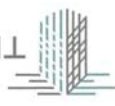
E EAST STONEWALL STREET



F HILL STREET @ "BACKYARD" AND PUBLIC PARK

0 5 10 20'

NO CHANGES TO THIS SHEET.



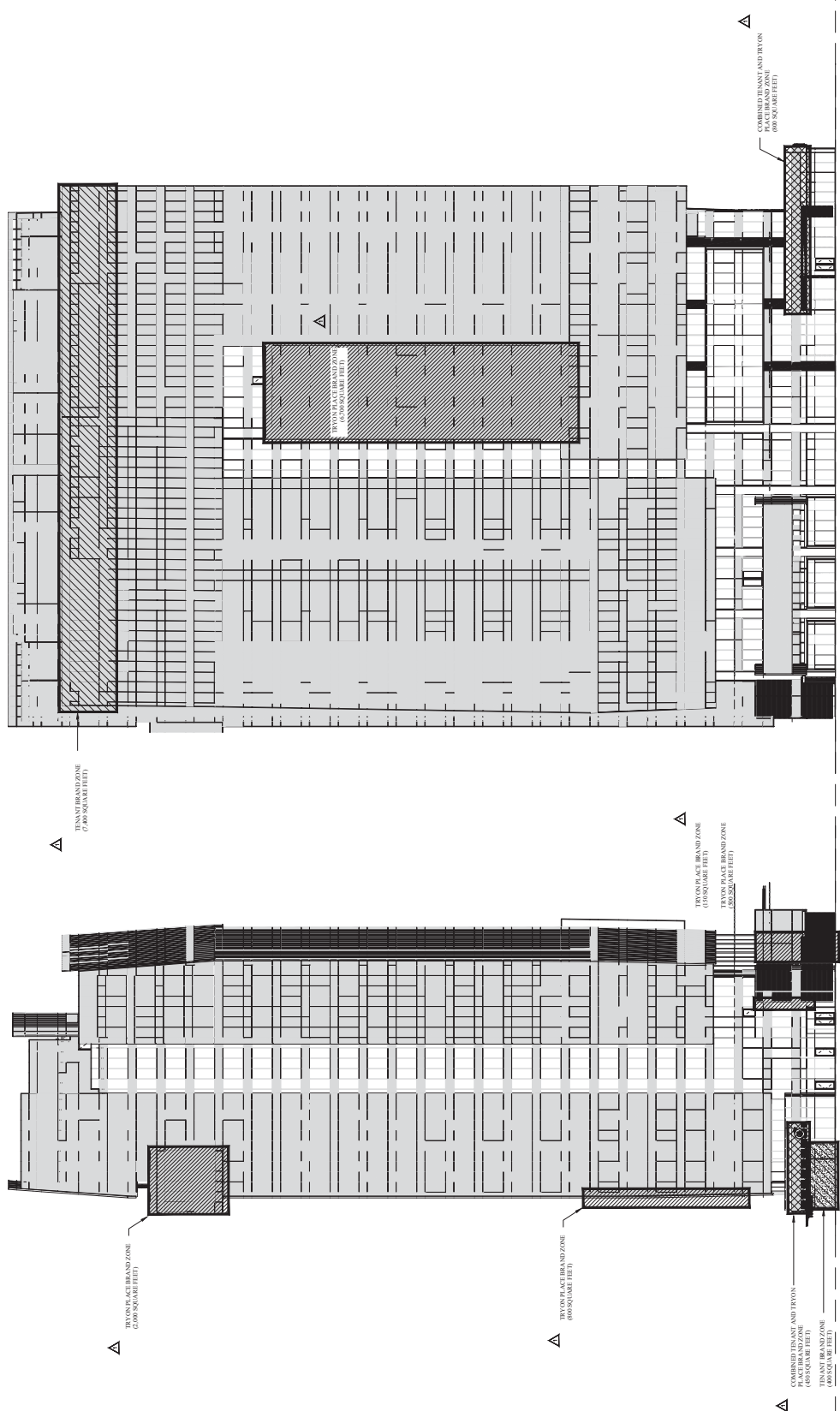
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NO.	REVISION	DATE
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002	ISSUE FOR PERMIT	11.21.14
003	ISSUE FOR PERMIT	12.18.17

DATE: 10.15.14  
ISSUE FOR PERMIT: 10.15.14  
ISSUE FOR PERMIT: 11.21.14  
ISSUE FOR PERMIT: 12.18.17

PROJECT: TRYON PLACE  
ARCHITECT: LITTLE ARCHITECTS  
ENGINEER: CH2M HILL

132,9153.00  
SIGNAGES



COLLEGE STREET ELEVATION

HILL STREET ELEVATION

NOTE: ELEVATIONS SHOWN ARE SCHEMATIC IN NATURE AND SUBJECT TO CHANGE WHEN PRESENTED FOR CONSTRUCTION DOCUMENT REVIEW

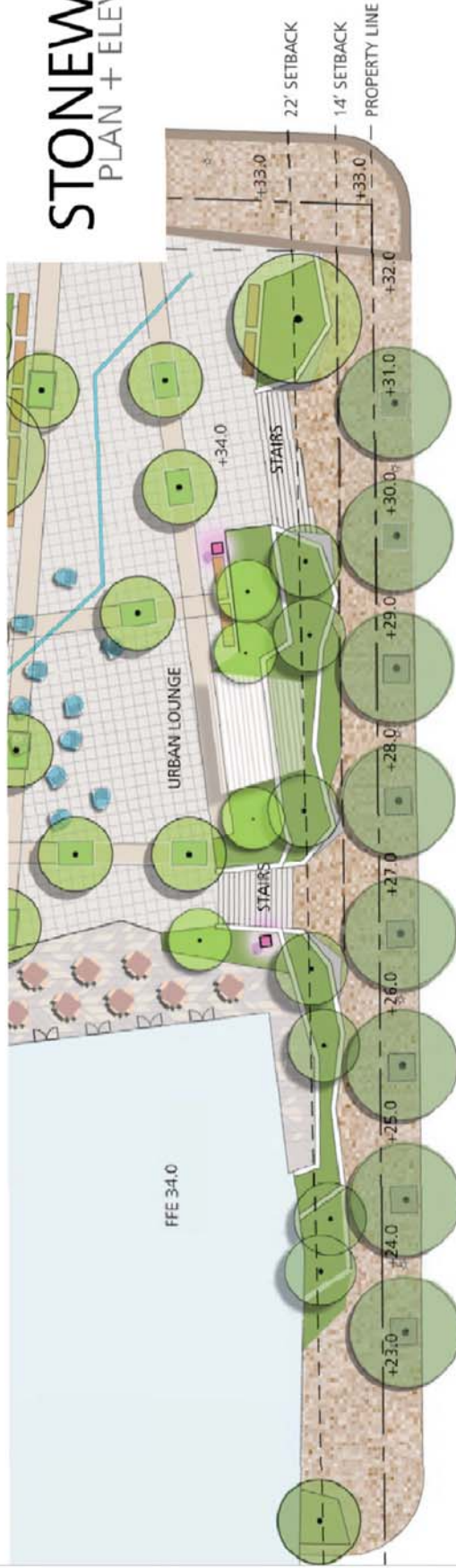
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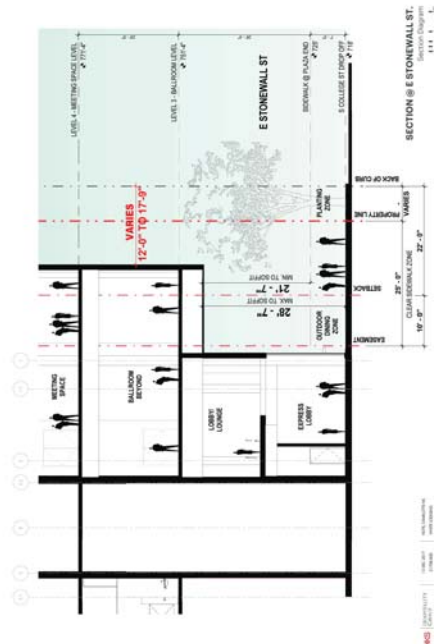
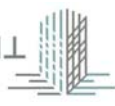
# STONEWALL PLAN AND ELEVATION



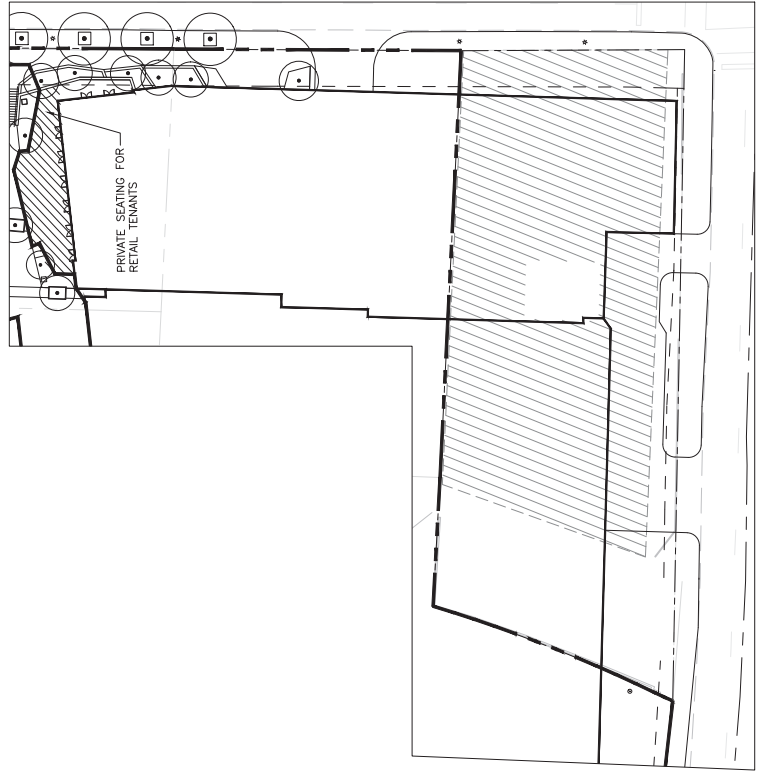
## STONEWALL PLAN + ELEVATION



NO CHANGES TO THIS SHEET.



SECTION @ E STONEWALL ST.  
 1" = 1'-0"



(i) To allow for a ten (10) foot overhead encroachment into the twenty-two (22) foot streetscape area along Stonewall Street, as shown in the attached site plan, the design team has proposed a minimum of twenty-one (21) feet above the sidewalk as generally depicted on Sheet RZ-01 and RZ-04 of the Reasoning Plan. To be clear, this encroachment area shall not be permitted at the building's base level.