

ORDINANCE

AN ORDINANCE ORDERING THE DEMOLITION AND REMOVAL OF THE DWELLING AT 235 OREGON STREET PURSUANT TO THE HOUSING CODE OF THE CITY OF CHARLOTTE AND ARTICLE 19, PART 6, CHAPTER 160A OF THE GENERAL STATUTES OF NORTH CAROLINA, SAID BUILDING BEING THE PROPERTY OF UNKNOWN HEIRS OF CHARLENE HERRON 235 OREGON STREET CHARLOTTE, NC 28208

WHEREAS, the dwelling located at 235 Oregon Street in the City of Charlotte has been found by the Code Enforcement Official of the City of Charlotte to be in violation of the Housing Code of the City of Charlotte and the owners thereof have been ordered to demolish and remove said dwelling; and

WHEREAS, said owner(s) have failed to comply in a timely fashion.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Charlotte, North Carolina, that the Code Enforcement Official of the City of Charlotte is hereby ordered to cause the demolition and removal of the dwelling located at 235 Oregon Street in the City of Charlotte in accordance with the Housing Code of the City of Charlotte. This Ordinance shall become effective upon its adoption.

APPROVED AS TO FORM:

Senior Assistant City Attorney

GENERAL INFORMATION	
Property Address	235 Oregon Street
Neighborhood	Neighborhood Profile Area 88
Council District	#2
Owner(s)	Unknown Heirs of Charlene Herron
Owner(s) Address	235 Oregon Street Charlotte, NC 28208
KEY FACTS	
Focus Area	Housing & Neighborhood Development & Community Safety Plan
CODE ENFORCEMENT INFORMATION	
◆ Reason for Inspection:	Public Agency Referral from Charlotte Fire Dept.
◆ Date of the Inspection:	03/26/2021
◆ Received title search:	04/21/2021
◆ Owner(s) notified of Complaint and Notice of Hearing by advertisement and certified mail by:	05/11/2021
◆ Held hearing for owner(s) by:	06/04/2021
◆ Owner(s) attend hearing:	No
◆ Owner(s) ordered to demolish structure by:	07/05/2021
◆ Filed Lis Pendens:	06/09/2021 08/19/2021
◆ Owner(s) have not repaired or complied with order to demolish.	
◆ Structure occupied:	No
◆ Estimated demolition cost:	\$6,225
◆ Lien will be placed on the property for the cost of Demolition.	

NOTIFICATION TO OWNER

Owner and parties of interest have been advised that failure to comply with the Order to Demolish the structure would result in City Council being requested to approve demolition by the City and a lien being placed on the property for the cost of demolition.

OPTIONS

IN-REM REPAIR	REHAB TO CITY STANDARD	REPLACEMENT HOUSING	DEMOLITION
Estimated In-Rem Repair Cost: \$69,627	Acquisition & Rehabilitation Cost (Existing structure: 976 sq. ft. total) Economic Life: 15-20 years Estimated cost-\$146,871	New Replacement Structure Cost (Structure: 1,000 sq. ft. total) Economic Life: 50 years Estimated cost-\$173,296	Estimated Demolition Cost \$6,225
In-Rem Repair is not recommended because the In-Rem Repair cost is greater than 65% of the tax value.	Acquisition: Tax values: - Structure: \$ 72,500 - Land: \$ 22,000 Total Acquisition: \$ 94,500 Estimated Rehabilitation Cost: \$ 48,800 Outstanding Loans \$ 0 Property Taxes owed: \$ 3,304 Interest on Taxes owed: \$ 267 Total: \$ 52,371	Acquisition: Tax values - Structure: \$ 72,500 - Land: \$ 22,000 Total Acquisition: \$ 94,500 New structure: \$ 69,000 Estimated demolition cost: \$ 6,225 Outstanding Loans: \$ 0 Property Taxes owed: \$ 3,304 Interest on Taxes owed: \$ 267 Total: \$ 78,796	

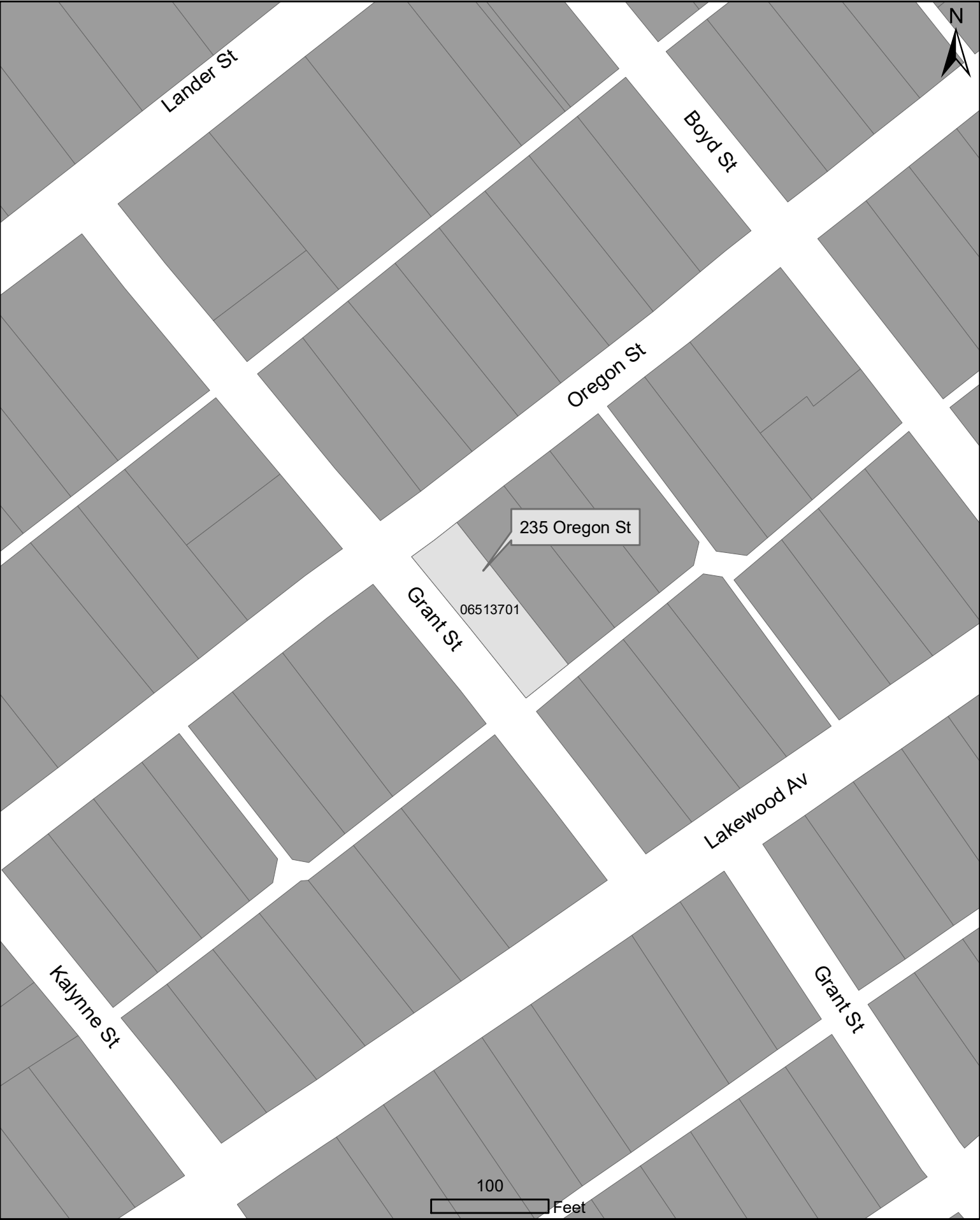
RECOMMENDATION FOR DEMOLITION

Demolition is recommended because:

Estimated In-Rem Repair cost of \$69,627 (\$71.33/sq. ft.), which is 96.03% of the structure tax value, which is \$72,500.

- City rehab costs analysis shows that rehabilitation is not feasible because the cost is prohibitive.
- New construction analysis shows that new construction is not feasible because the cost is prohibitive.
- Violations include: Structural, electrical, plumbing and heating violations. Fire damaged floor framing. Damaged wall, ceiling and floor covering. Fire damaged windows. Damaged entry doors. Damaged electrical and plumbing fixtures. Missing heating equipment. Fire damaged roof covering, sheathing and trusses. Accessory buildings not in safe substantial condition.
- The building is 21 years old and consists of 976 square feet total.
- A new 1,000 sq. ft. structure can be built for \$69,000.

235 Oregon Street



235 Oregon Street

