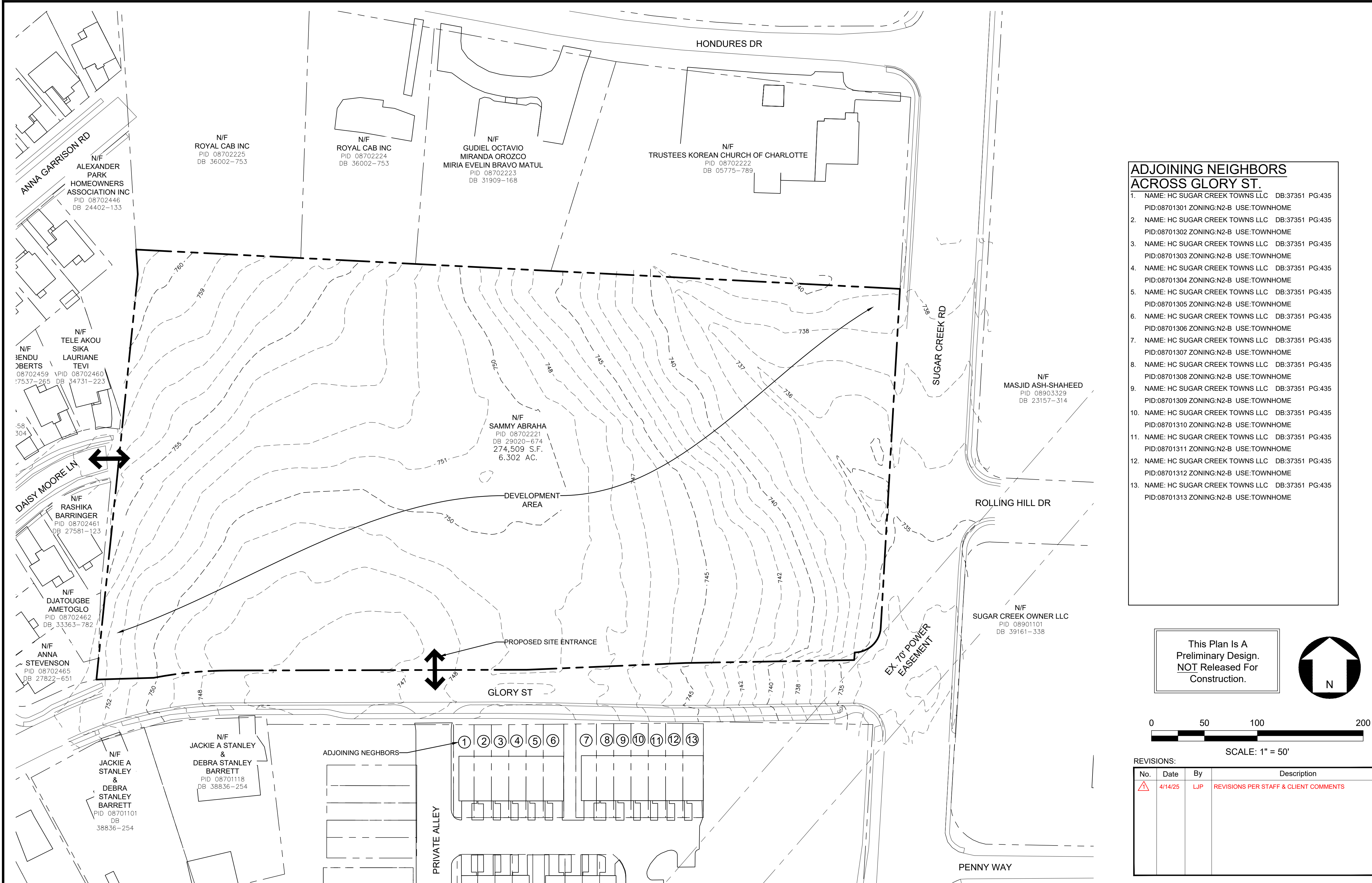


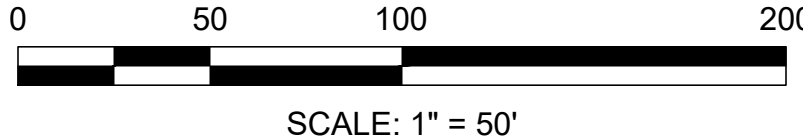
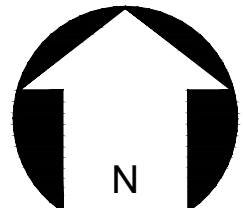
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### ADJOINING NEIGHBORS ACROSS GLORY ST.

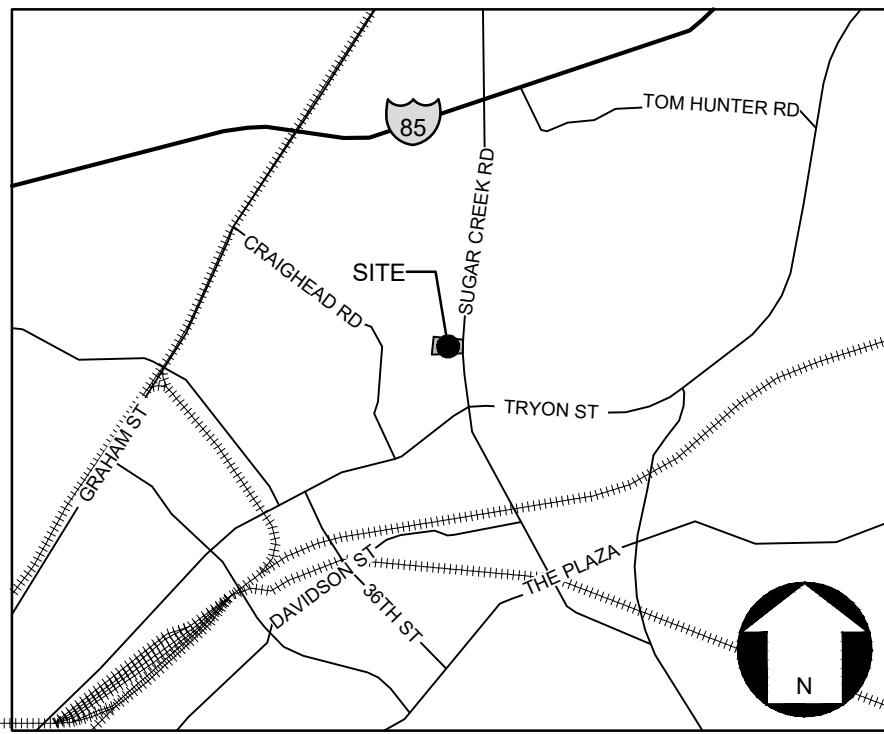
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This Plan Is A  
Preliminary Design.  
NOT Released For  
Construction.



#### REVISIONS:

No.	Date	By	Description
1	4/14/25	LJP	REVISIONS PER STAFF & CLIENT COMMENTS



#### VICINITY MAP

NOT TO SCALE

#### LEGEND:

- PROPERTY BOUNDARY
- EXISTING CONTOUR LINES
- PROPOSED CONTOUR LINES
- EXISTING STREAM / WATER BODY
- EXISTING LOT LINE
- RIGHT-OF-WAY LINE
- SETBACK LINE
- EXISTING PAVEMENT
- PROPOSED CURBING
- EXISTING CURBING
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- EXISTING FENCE
- PROPOSED BUILDING
- EXISTING BUILDING
- EXISTING BUILDING TO BE REMOVED
- PROPOSED ASPHALT
- PROPOSED CONCRETE
- PROPOSED TREE SAVE AREA
- PROPOSED OPEN SPACE
- PROPOSED WATER QUALITY
- PROPOSED TREE
- EXISTING TREE
- PROPOSED SITE ENTRY

1. **General Provisions:**
  - a. Site Location. These Development Standards, the Technical Data Sheet, Schematic Site Plan and other graphics set forth on attached Sheets form this rezoning plan (collectively referred to as the "Rezoning Plan") associated with the Rezoning Petition filed by Pulte Group to accommodate the development of a residential community on an approximate 4.5-acre site located at 301 W Sugar Creek Road, Charlotte NC 28213, (the "Site").
  - b. Zoning Districts/Ordinance. Development of the Site will be governed by the Rezoning Plan as well as the applicable provisions of the City of Charlotte Unified Development Ordinance (the "Ordinance"). Unless the Rezoning Plan establishes more stringent standards, (i) the regulations established under the Ordinance for the N2-A zoning classification for the portion of the Site so designated on the Rezoning Plan shall govern all development taking place on the Site.
  - c. Graphics and Alterations. The schematic depictions of the uses, parking areas, sidewalks, structures and buildings, building elevations, driveways, streets, Development Areas and other development matters and site elements (collectively the "Development/Site Elements") set forth on the Rezoning Plan should be reviewed in conjunction with the provisions of these Development Standards. The layout, locations, sizes, and formulations of the Development/Site Elements depicted on the Rezoning Plan are graphic representations of the Development/Site elements proposed. Changes to the Rezoning Plan not anticipated by the Rezoning Plan will be reviewed and approved as allowed by Article 37 of the Ordinance.
2. **Permitted Uses & Development Area Limitation:**
  - a. The Site may be developed with a multi-dwelling development with up to one hundred and ten (110) dwelling units which may include a combination of duplex, triplex, quadruplex and/or multi-family attached dwelling units as allowed by right and under prescribed conditions in the N2-A zoning district together with accessory uses.
  - b. The Site may be developed with a multi-dwelling development with up to one hundred and ten (110) dwelling units which may include a combination of duplex, triplex, quadruplex and/or multi-family attached dwelling units as allowed by right and under prescribed conditions in the N2-A zoning district together with accessory uses.
  - c. The Planning Director will determine if such minor modifications are allowed per this amended process, and if it is determined that the alteration does not meet the criteria described above, the Petitioner shall then follow the Administrative Minor Amendment Process per Article 37.3 of the Ordinance; in each instance, however, subject to the Petitioner's appeal rights set forth in the Ordinance.
3. **Access and Transportation Improvements:**
  - a. Access to the Site will be from Sugar Creek Road and Glory Street as generally depicted on the Rezoning Plan. Two new internal network required streets built to the local residential wide street cross section will be provided. One will extend from Glory Street and stub to the abutting property north of the Site. The second will be an extension of Daisy Moore Lane into the Site.
  - b. The Petitioner will provide an eight (8) foot planting strip and an eight (8) foot sidewalk along the Site's Sugar Creek Road frontage and an eight (8) foot planting strip and an eight (8) foot sidewalk along the Glory Street frontage. The internal network required streets will also be constructed with an eight (8) foot planting strip and an eight (8) foot sidewalk per the local residential wide cross-section for properties within the Neighborhood 2 Place Type.
  - c. Sugar Creek Road is designated as 4+ Boulevard with buffered bike lanes on the adopted Charlotte Streets Map. The required distance from the centerline to the edge of curb is a minimum of forty-one (41) feet for this street designation. However, this distance shall be increased to a minimum of fifty-two (52) feet along the Sugar Creek Road frontage to accommodate the right turn onto Glory Street as noted within this section. Right-of-way will be dedicated from the centerline of Sugar Creek Road to accommodate the road cross-section, the required eight (8) foot planting strip, and required eight (8) foot sidewalk. This dimension will be increased to a minimum of fifty-two (52) feet to accommodate the right turn lane along Sugar Creek Road on to Glory Street. The location of the future back of curb and gutter is to be per the appropriate, specified wide street cross section. Right-of-way measuring 33.5 feet from the centerline of Glory Street to accommodate the road cross-section, the required eight (8) foot planting strip, and required eight (8) foot sidewalk will be dedicated.
  - d. A right turn lane along south bound Sugar Creek Road per NCDOT requirements will be constructed as generally depicted on the Rezoning Plan. The right turn lane shall have a taper of 100 feet, 50 feet for deceleration, and 100 feet of storage.
4. **Seating options that include moveable tables and chairs. Other seating elements to be considered include seating walls and immovable benches.**
  - a. The residential buildings on the Site will comply with the applicable residential site layout, building design standards, and building material restrictions found in Article 5 of the Ordinance. When a building abuts both a frontage and common open space and the building fronts along the common open space as permitted per Article 5.0.C, the general design guidelines of this section will apply to the facades of the buildings fronting the common open space.
  - b. Windows, porches, slopes, or other architectural features are required on all frontage-facing facades to avoid the appearance of blank walls. All ground floor entrances to individual units on a frontage with a sidewalk shall be between 1' and 5' above or below the grade of the adjacent sidewalk when located within 10' of the back of sidewalk.
  - c. The facades of the buildings abutting public streets and internal network required streets will not have blank walls that exceed twenty (20) feet in length on all building levels. Windows will be provided on these facades abutting public streets and internal network required streets in order to accommodate a minimum 25% transparency on the ground floor and 15% transparency on the upper floors to avoid blank walls.
  - d. Roof form and rooflines shall be designed to avoid the appearance of a large monolithic roof structure as follows: (i) Long pitched or flat roof lines shall avoid continuous expanses without variation by including changes in height and/or roof form, to include but not be limited to gables, hips, dormer or parapets; and (ii) For pitched roofs the minimum allowed is 4:12 excluding buildings with a flat roof and parapet walls.
  - e. Front elevations shall include a stone or masonry water table. It is understood stone or masonry may extend above the water table.
  - f. Meter banks, HVAC, and related mechanical equipment will be screened as required per the Ordinance. Ground-mounted or wall-mounted mechanical equipment shall not be located in the established setbacks along a frontage.
  - g. Dumpster and recycling area will be fully enclosed on three sides by a minimum 75% opaque fence with one side being a decorative gate. The fence used to enclose the dumpster will be of a material prescribed by the Ordinance and be of a compatible color used on the principal buildings.
  - h. No more than six (6) attached dwelling units may be located in a residential building with no more than five (5) residential buildings within the development may include six (6) dwelling units. The multi-dwelling development will be made up of approximately four (4) and five (5) unit buildings.
  - i. All dwelling units will have garages and all residential buildings fronting a network required street will have rear loaded garages.
  - j. Walkways shall be provided to connect all residential entrances to sidewalks along abutting streets. For dwelling units which front along a network required street, a direct pedestrian connection will be provided from the entrance to the adjacent public sidewalk.
  - k. Accessory buildings and structures associated with the multi-dwelling development will be constructed utilizing similar building materials, colors, architectural elements, and designs as the principal building(s) located on the Site.
5. **Consist of a minimum dimension of 40 feet or more measured in all directions.**
  - a. A required ten (10) foot wide Class C landscape yard will be provided as generally depicted on the Rezoning Plan as per Article 20.9 of the Ordinance along both the northern and western property lines of the Site.
  - b. Open space will be provided per the N2-A requirements found in Article 5.4. In areas where common open space is provided, such areas will be amenitized with suitable outdoor landscape features, such as courtyards, seating areas, and include various landscape features, such as grass, groundcover, trees, and shrubs.
  - c. Publicly accessible open space shall be a dynamic and programmable open space centrally accessible to neighborhood residents that provide a layering of activities designed for multiple users. To accomplish this, the design of the open space shall consist of four (4) or more of the following potential components:
    1. Enhanced plantings in excess of minimum planting standards required of the ordinance. Enhanced plantings may take the form of trees and/or planting beds (standard, raised and/or terraced with native species).
    2. Specialty paving materials (not including standard finished concrete or asphalt)
    3. Shading elements such as shade structures or additional trees planted in a manner to provide consistent shade in the space.
6. **Environmental Features:**
  - a. The Petitioner shall comply with the Charlotte City Council approved and adopted Unified Development Ordinance, Stormwater Articles 23 through 28. The location, size, and type of storm water management systems that may be depicted on the Rezoning Plan are subject to review and approval as part of the full development plan submittal and are not implicitly approved with this rezoning. Adjustments may be necessary in order to accommodate actual storm water treatment requirements and natural site discharge points.
  - b. The Site will comply with the Tree provisions of the Ordinance found in Article 20. The final location of the required tree save/replanted tree save areas depicted on the Rezoning Plan are subject to review and approval as part of the full development plan submittal and are not implicitly approved with this rezoning. Adjustments may be necessary in order to accommodate actual storm water treatment requirements and natural site discharge points.
  - c. Development within any SWIMPCSO Buffers shall be coordinated with and subject to approval by Charlotte-Mecklenburg Storm Water Services and mitigated if required by Ordinance. Stream delineation reports are subject to review and approval by Charlotte Storm Water Services.
  - d. **Lighting:**
    - a. All freestanding exterior lighting installed on the Site shall comply with Article 16.2 of the Ordinance.
  - e. **Amendments to the Rezoning Plan:**
    - a. Future amendments to the Rezoning Plan (which includes these Development Standards) may be applied for by the then Owner or Owners of the applicable development area or portion of the Site affected by such amendment in accordance with the provisions herein and of Article 37.3 of the Ordinance.
  - f. **Binding Effect of the Rezoning Application:**
    - a. If this Rezoning Petition is approved, all conditions applicable to the development of the Site imposed under the Rezoning Plan will, unless amended in the manner provided under the Ordinance, be binding upon and inure to the benefit of the Petitioner and subsequent owners of the Site and their respective heirs, devisees, personal representatives, successors in interest or assigns.

## GLORY ST TOWNHOMES PULTE GROUP 301 W SUGAR CREEK RD CHARLOTTE, NC 28213

## EXISTING CONDITIONS PLAN

PETITION NO. 2025-014

CORPORATE CERTIFICATIONS  
NC PE: C-2630 NC LA: C-263  
SC ENG: NO. 3599 SC LA: NO. 211

Project Manager: MDH

Drawn By: LJP

Checked By: MDH

Date: 4/14/2025

Project Number: 24066

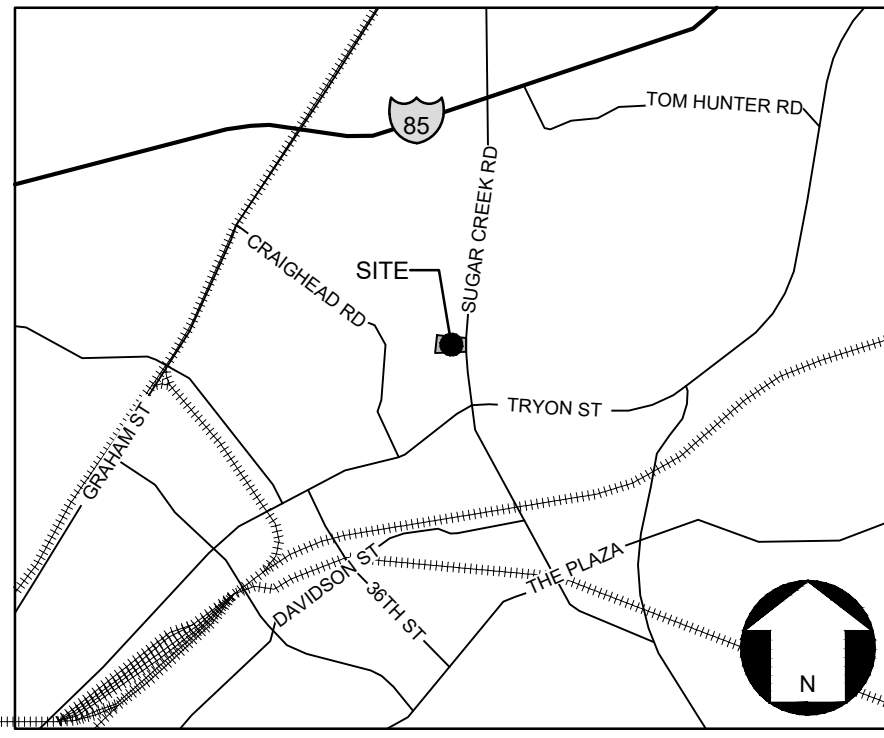
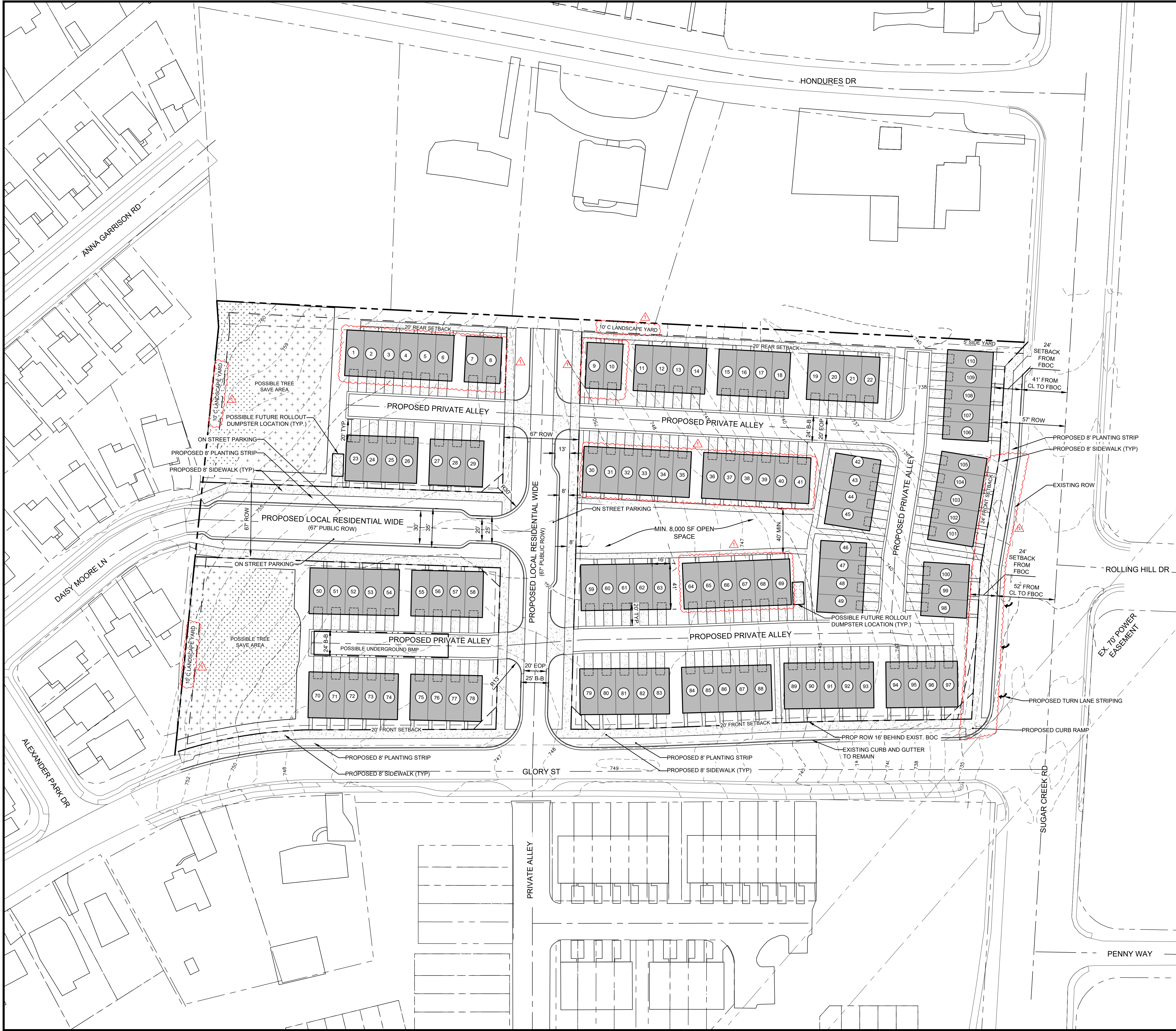
Sheet Number:

# RZ-1

SHEET # 01 OF 02



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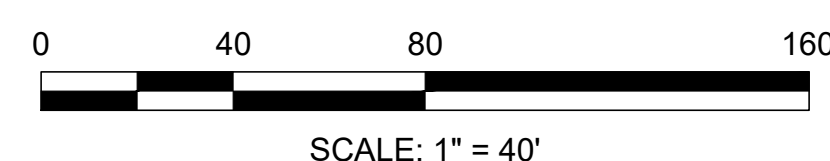
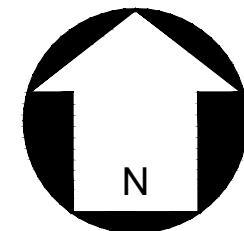
#### LEGEND:

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- PROPOSED CONTOUR LINES
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- PROPOSED TREE
- EXISTING TREE
- PROPOSED SITE ENTRY

#### DEVELOPMENT DATA:

SITE AREA:	#6.30 ACRES
TAX PARCELS:	087-022-21
EXISTING ZONING:	N1-B
PROPOSED ZONING:	N2-A
EXISTING USE:	SINGLE FAMILY RESIDENTIAL - ACREAGE
PROPOSED USES:	MULTI-FAMILY ATTACHED, DUPLEX, TRIPLEX, QUADRAPLEX
PROPOSED UNIT COUNT:	110 UNITS
MIN. FRONT SETBACK:	24' FROM FBOC ON SUGAR CREEK RD 20' FROM FBOC ON GLORY ST
MIN. SIDE SETBACK REQUIRED:	5'
MIN. REAR SETBACK REQUIRED:	20'
MAX. BUILDING HEIGHT ALLOWED:	48'
PROPOSED BUILDING HEIGHT:	45' MAX
GREEN AREA REQUIRED:	15% OF SITE
GREEN AREA PROVIDED:	PER ORDINANCE
OPEN SPACE PROVIDED:	PER ORDINANCE
PARKING REQUIRED:	1.5 SPACE PER UNIT MIN.
PARKING PROVIDED:	1.5 SPACES PER UNIT MIN.
PCCO:	PER ORDINANCE
SOLID WASTE:	PER ORDINANCE

This Plan Is A Preliminary Design.  
NOT Released For Construction.



#### REVISIONS:

No.	Date	By	Description
1	4/14/25	LJP	REVISIONS PER STAFF AND CLIENT COMMENTS

## GLORY ST TOWNHOMES

### PULTE GROUP

301 W SUGAR CREEK RD  
CHARLOTTE, NC 28213

## REZONING SITE PLAN

PETITION NO. 2025-014

CORPORATE CERTIFICATIONS  
NC PE: C-2930 NC LA: C-293  
SC ENG: NO. 3599 SC LA: NO. 211

Project Manager: MDH

Drawn By: LJP

Checked By: MDH

Date: 4/14/2025

Project Number: 24066

Sheet Number:

# RZ-2

SHEET # 02 OF 02