

VICINITY MAP
NTS

SITE DEVELOPMENT DATA

SITE AREA: +/- 12.403 ACRES
 TAX PARCEL: 047-112-07
 EXISTING ZONING: R-8M(CD)
 PROPOSED ZONING: UR-2(CD)
 EXISTING USE: RESIDENTIAL
 PROPOSED USES: UP TO 200 MULTI-FAMILY RESIDENTIAL DWELLING UNITS
 MAXIMUM BUILDING HEIGHT: SIXTY-FIVE (65) FEET, AS MEASURED PER THE ORDINANCE
 PARKING: AS REQUIRED BY THE ORDINANCE.
 FAR: AS REQUIRED BY THE ORDINANCE (MAXIMUM = 1.0)

NOT FOR
CONSTRUCTION

WAYFORD
MULTIFAMILY
REZONING

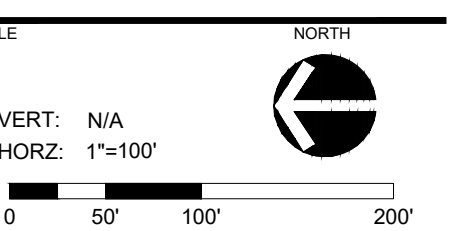
CHARLOTTE, NC
REZONING #2022-200

LANDDESIGN PROJ# 1022071

REVISION / ISSUANCE

| NO. | DESCRIPTION | DATE |
|-----|----------------------------|------------|
| 1 | INITIAL REZONING SUBMITTAL | 10.26.2022 |
| 2 | REZONING SUBMITTAL | 5.15.2023 |
| 3 | REZONING SUBMITTAL | 7.20.2023 |

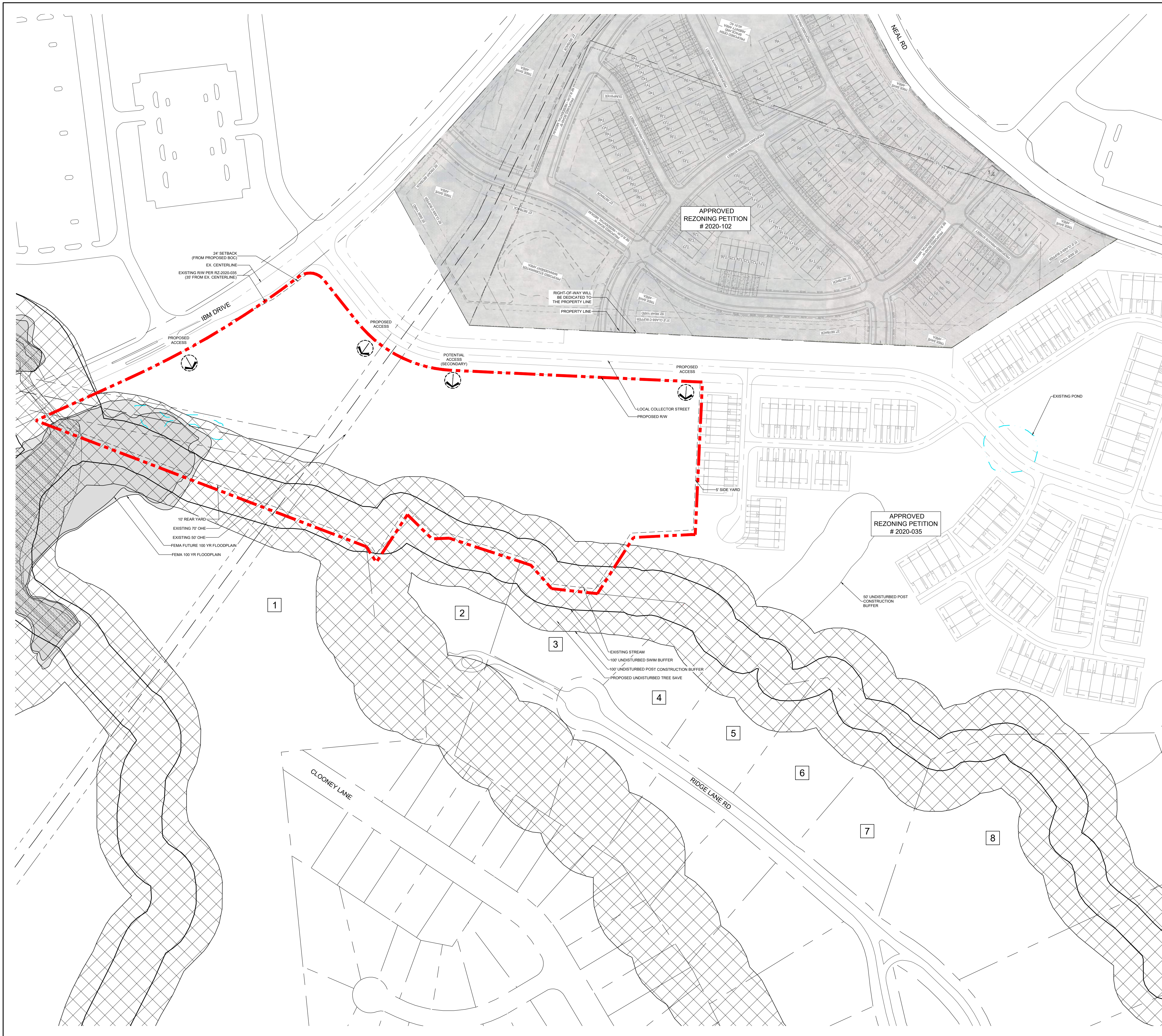
DESIGNED BY: XX
DRAWN BY: XX
CHECKED BY: XX



TECHNICAL DATA SHEET

SHEET NUMBER

RZ-1



- | | | | |
|---|---|---|---|
| 1 | PID: 04711201 MECKLENBURG COUNTY DB 35678 PG 878 EX. ZONING: R-4 | 5 | PID: 04706518 ANDREW T CLINE DB 32569 PG 673 EX. ZONING: R-3 |
| 2 | PID: 04706514 JOHN C CHAPMAN DB 20736 PG 52 EX. ZONING: R-3 | 6 | PID: 04706519 ROBERT P WARREN DB 28106 PG 895 EX. ZONING: R-3 |
| 3 | PID: 04706516 AARON ELIAS MCOWEN DB 33899 PG 783 EX. ZONING: R-3 | 7 | PID: 04706520 CHRISTINE M FREEMAN DB 20728 PG 869 EX. ZONING: R-3 |
| 4 | PID: 04706537 KYLE M EBERLE DB 37476 PG 540 EX. ZONING: R-3 | 8 | PID: 04706521 JAMES BEAN DB 31950 PG 003 EX. ZONING: R-3 |

SITE LEGEND

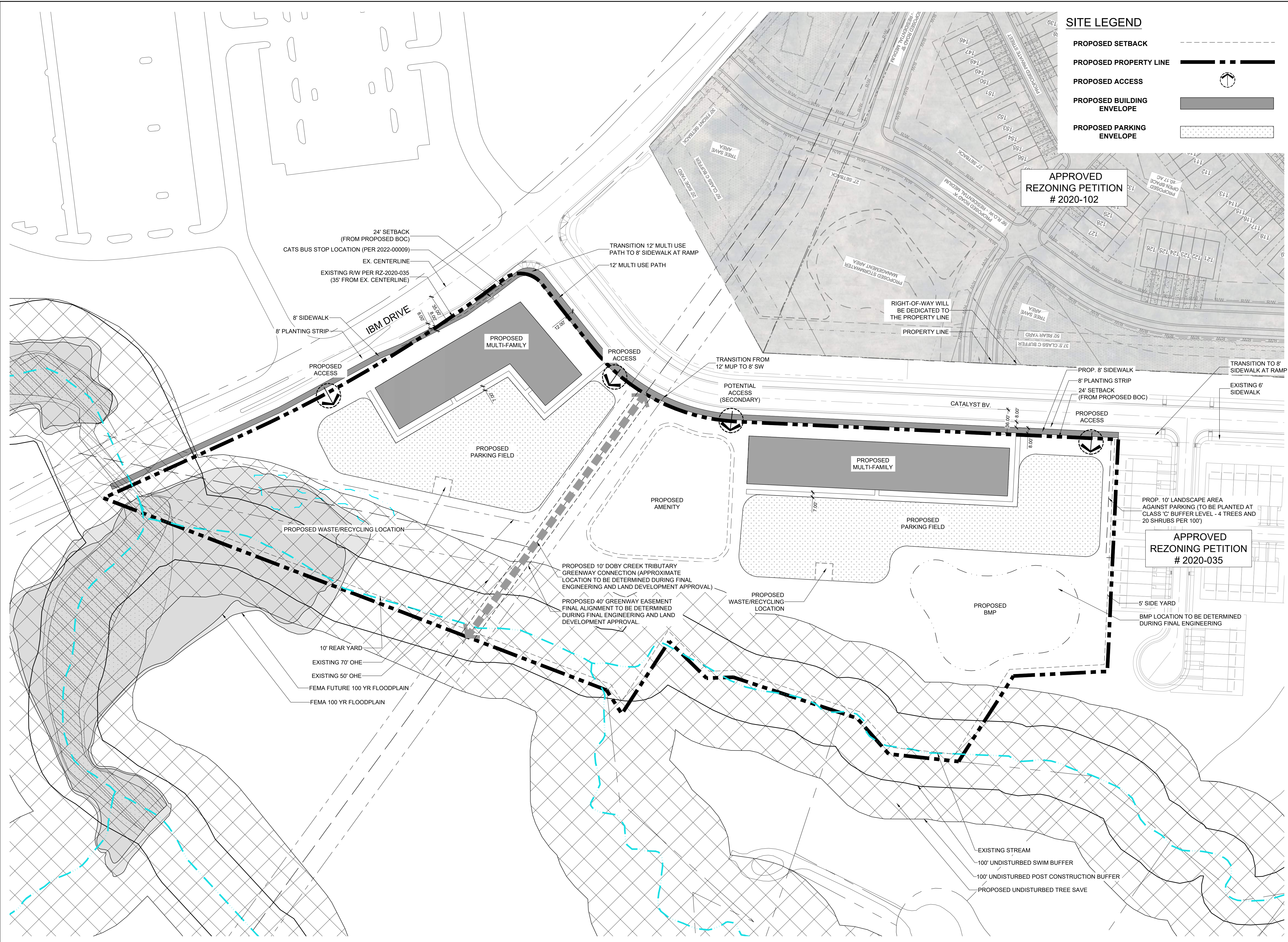
- PROPERTY LINE/
ZONING BOUNDARY
- PROPOSED SETBACK
- EXISTING RW
- PROPOSED ACCESS

SITE LEGEND

- PROPOSED SETBACK -----
- PROPOSED PROPERTY LINE - - - - -
- PROPOSED ACCESS ⊕
- PROPOSED BUILDING ENVELOPE ▬
- PROPOSED PARKING ENVELOPE ▨

APPROVED
REZONING PETITION
2020-102

APPROVED
REZONING PETITION
2020-035



KEY MAP

SCALE

**NOT FOR
CONSTRUCTION**

PROJECT

**WAYFORD
MULTIFAMILY
REZONING**

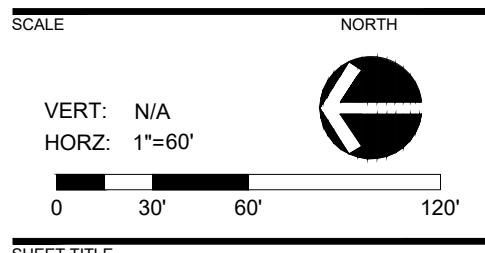
CHARLOTTE, NC
REZONING #2022-200

LANDDESIGN PROJ.# 1022071

REVISION / ISSUANCE

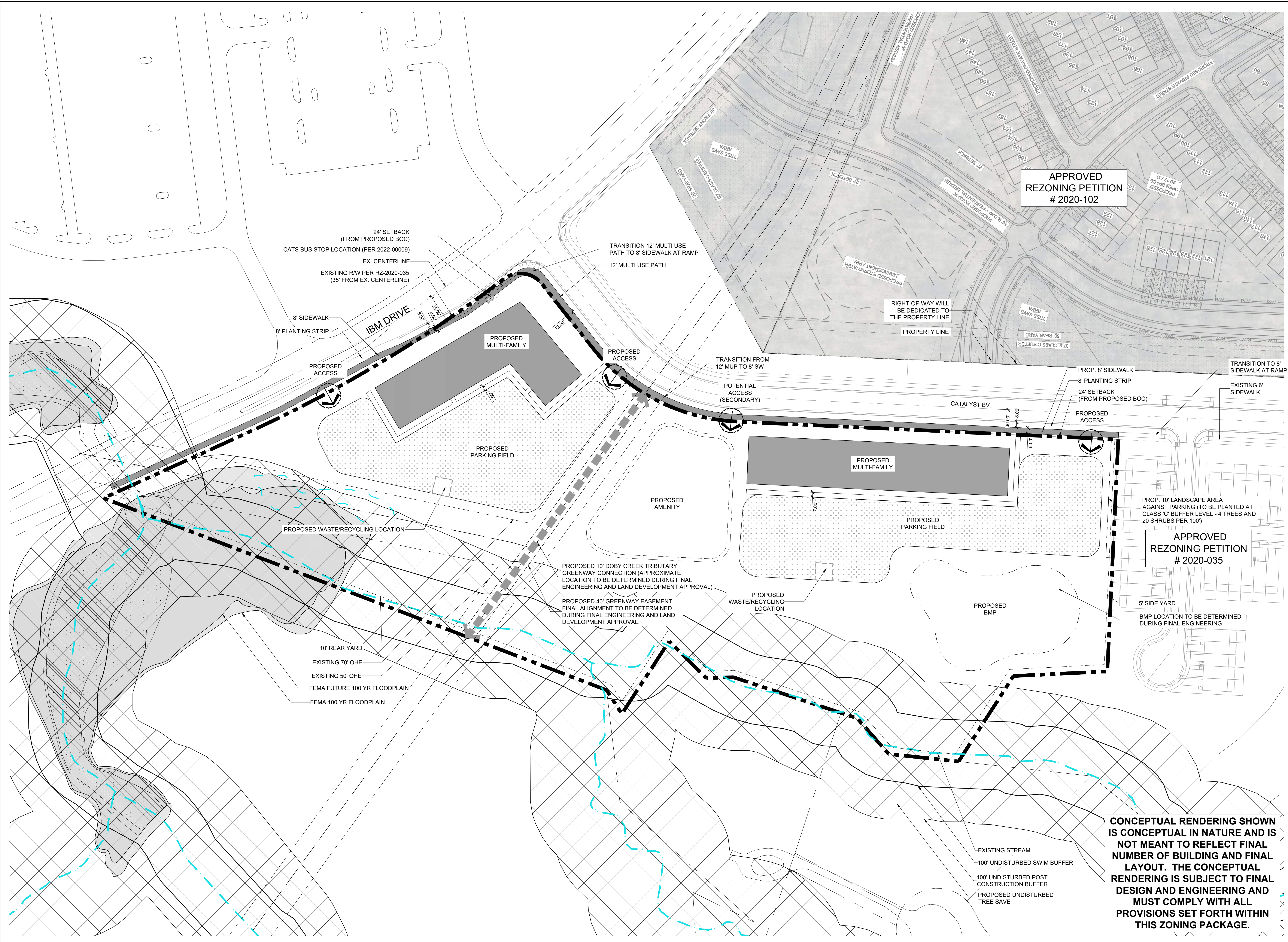
| NO. | DESCRIPTION | DATE |
|-----|----------------------------|------------|
| 1 | INITIAL REZONING SUBMITTAL | 10.26.2022 |
| 2 | REZONING SUBMITTAL | 5.15.2023 |
| 3 | REZONING SUBMITTAL | 7.20.2023 |

DESIGNED BY: XX
DRAWN BY: XX
CHECKED BY: XX



SCHEMATIC SITE PLAN

SHEET NUMBER
RZ-2



CONCEPTUAL RENDERING SHOWN IS CONCEPTUAL IN NATURE AND IS NOT MEANT TO REFLECT FINAL NUMBER OF BUILDING AND FINAL LAYOUT. THE CONCEPTUAL RENDERING IS SUBJECT TO FINAL DESIGN AND ENGINEERING AND MUST COMPLY WITH ALL PROVISIONS SET FORTH WITHIN THIS ZONING PACKAGE.

KEY MAP

SCALE

NOT FOR CONSTRUCTION

WAYFORD MULTIFAMILY REZONING

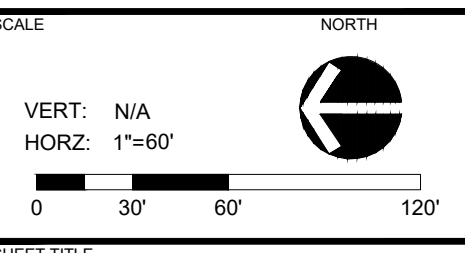
CHARLOTTE, NC
 REZONING #2022-200

LANDDESIGN PROJ.# 1022071

REVISION / ISSUANCE

| NO. | DESCRIPTION | DATE |
|-----|----------------------------|------------|
| 1 | INITIAL REZONING SUBMITTAL | 10.26.2022 |
| 2 | REZONING SUBMITTAL | 5.15.2023 |
| 3 | REZONING SUBMITTAL | 7.20.2023 |

DESIGNED BY: XX
 DRAWN BY: XX
 CHECKED BY: XX



SHEET TITLE

SHEET NUMBER

RZ-2A

IP P2 CCP, LLC
REZONING PETITION NO. 2022-200
(730/202)

Development Data Table:

Table with 2 columns: Field (Site Area, Tax Parcel, Existing Zoning, Proposed Zoning, Existing Use, Proposed Uses, Maximum Building Height, Parking, Maximum FAR) and Value.

I. General Provisions

- 1. These Development Standards form a part of the Rezoning Petition filed by IP P2 CCP, LLC (the "Petitioner") to accommodate the development of a multi-family residential community on that approximately 12.403-acre site located near the southwest side of the intersection of IBM Drive and Neal Road, more particularly depicted on the Rezoning Plan (the "Site").

II. Permitted Uses

The Site may be devoted only to a residential community containing a maximum of two hundred (200) multi-family residential units, and any incidental and accessory uses relating thereto that are allowed in the UR-2 zoning district.

III. Transportation

- 1. As depicted on the Rezoning Plan, the Site will be served by internal public and private drives, and minor adjustments to the location of these drives shall be allowed during the construction permitting process.

IV. Architectural Standards

- 1. Preferred Exterior Building Materials: The majority of all principal and accessory buildings shall be comprised of a combination of portions of brick, natural stone (or its synthetic equivalent), stucco, cementitious siding, fiber cement (such as "HardiPlank"), vinyl and/or other materials approved by the Planning Director.

V. Amenities, Landscaping and Greenways

- 1. There shall be a minimum of 30,000 square feet of outdoor amenity area(s) located throughout the Site. Amenity areas shall include a minimum of (2) of the following: bicycle racks, grills, club houses, pools, cabanas, picnic shelters, gazebos, benches, community gardens, dog parks, playgrounds, active or passive recreation, or other similar amenities and may be relocated throughout the Site as long as the locations are consistent with the general intent of the Rezoning Plan.

VI. Environmental Features

- 1. The Petitioner shall comply with the Charlotte City Council approved and adopted Post Construction Stormwater Ordinance. The location, size, and type of stormwater management systems depicted on the Rezoning Plan are subject to review and approval as part

- of the full development plan submittal and are not implicitly approved with this rezoning. Adjustments may be necessary in order to accommodate actual storm water treatment requirements and natural site discharge points.

VII. Lighting

- 1. All freestanding lighting fixtures installed on the Site greater than twenty-one (21) feet in total height (i.e., excluding decorative lighting less than 21" in height that may be installed along the driveways and sidewalks as pedestrian/landscaping lighting) shall be fully capped and shielded and the illumination downwardly directed so that direct illumination does not extend past any property line of the Site.

VIII. Amendments to Rezoning Plan

Future amendments to the Rezoning Plan and these Development Standards may be applied for by the then Owner or Owners of a particular Tract within the Site involved in accordance with the provisions of Chapter 6 of the Ordinance.

IX. Binding Effect of the Rezoning Documents and Definitions

If this Rezoning Petition is approved, all conditions applicable to development of the Site imposed under the Rezoning Plan and these Development Standards will, unless amended in the manner provided under the Ordinance, be binding upon and inure to the benefit of the Petitioner and subsequent owners of the Site and their respective successors in interest and assigns.

Throughout these Development Standards, the terms, "Petitioner" and "Owner" or "Owners" shall be deemed to include the heirs, devisees, personal representatives, successors in interest and assigns of the Petitioner or the owner or owners of any part of the Site from time to time who may be involved in any future development thereof.

KEY MAP

SEAL

NOT FOR
CONSTRUCTION

PROJECT

WAYFORD
MULTIFAMILY
REZONING

CHARLOTTE, NC
REZONING #2022-200

Table with 2 columns: Column (LANDDESIGN PROJ.#), Value (1022071)

REVISION / ISSUANCE

Table with 3 columns: NO., DESCRIPTION, DATE

Table with 2 columns: Field (DESIGNED BY, DRAWN BY, CHECKED BY), Value (XX)

Table with 2 columns: Field (SCALE), Value (NORTH)

Table with 2 columns: Field (VERT, HORZ), Value (N/A)

SHEET TITLE

DEVELOPMENT STANDARDS

SHEET NUMBER

RZ-3