

DATE	REV.	DESCRIPTION



MAP REF: DB 3906, PAGE 411

Luxity, LLC  
Development Standards  
Rezoning Petition No. 2016-126  
July 25, 2016

**1. Development Data Table**

- Average: Approximately 267 uses
- Total Parcel: 073-216-01 and 073-216-02
- Existing Zoning: UR-2(CD)
- Proposed Zoning: UR-2(CD)
- Existing Uses: Vacant land
- Proposed Uses: Seven (7) attached dwelling units together with accessory uses, as allowed in the UR-2 Zoning District.
- Proposed Floor Area Ratio: As allowed by the UR-2 Zoning District.
- Maximum Building Height: Building height will be limited to 3 stories excluding rooftop activities, not to exceed 40 feet.
- Parking: Parking will comply with the minimum parking requirements of the UR-2 zoning district

**2. General Provisions**

- Site Location:** These Development Standards, the Technical Data Sheet, Site Plan and additional graphics set forth on the attached sheets form this rezoning plan (collectively, the "Rezoning Plan") associated with the Rezoning Petition filed by Luxity, LLC ("Petitioner") to accommodate the development of a townhome community on an approximately .267-acre site located on the northeast corner of South Sycamore Street and Margaret Brown Street (the "Site").
- Zoning District/Ordinance:** Development of the Site will be governed by the Rezoning Plan as well as the applicable provisions of the City of Charlotte Zoning Ordinance (the "Ordinance"). Unless the Rezoning Plan establishes more stringent standards, the regulations established under the Ordinance for the UR-2 zoning classification shall govern all development taking place on the Site.

- Graphics and Alterations:** Changes to the Rezoning Plan not anticipated by the Rezoning Plan will be reviewed and approved as allowed by Section 6.207 of the Ordinance.

**3. Permitted Uses**

Subject to the restrictions and limitation described herein, the building constructed on the Site may be developed with up to seven (7) attached dwelling units, together with accessory uses allowed in the UR-2 Zoning District.

**4. Transportation**

- Access to the Site will be via Margaret Brown Street as generally depicted on the Rezoning Plan.

- Parking will be located under and next to the building as generally illustrated on the Site Plan.

- The placement and configuration of the vehicular access point from Margaret Brown Street is subject to any minor modifications required to accommodate final site development and construction plans and to any adjustments required for approval by the Charlotte Department of Transportation in accordance with applicable published standards.

- The alignment of the vehicular circulation and driveways may be modified by the Petitioner to accommodate changes in traffic patterns, parking layouts and any adjustments required for approval by the Charlotte Department of Transportation in accordance with its published standards so long as the street network set forth on the Rezoning Plan is not materially altered.

- All rights-of-way will be dedicated or conveyed in fee simple to the City before the project's first building certificate of occupancy is issued. The petitioner will dedicate the right-of-way to be located two feet from the back of sidewalk or at the back of sidewalk where building abuts the sidewalk.

- All transportation improvements will be constructed and approved before the project's first building certificate of occupancy is issued or phased per the project's development plan.

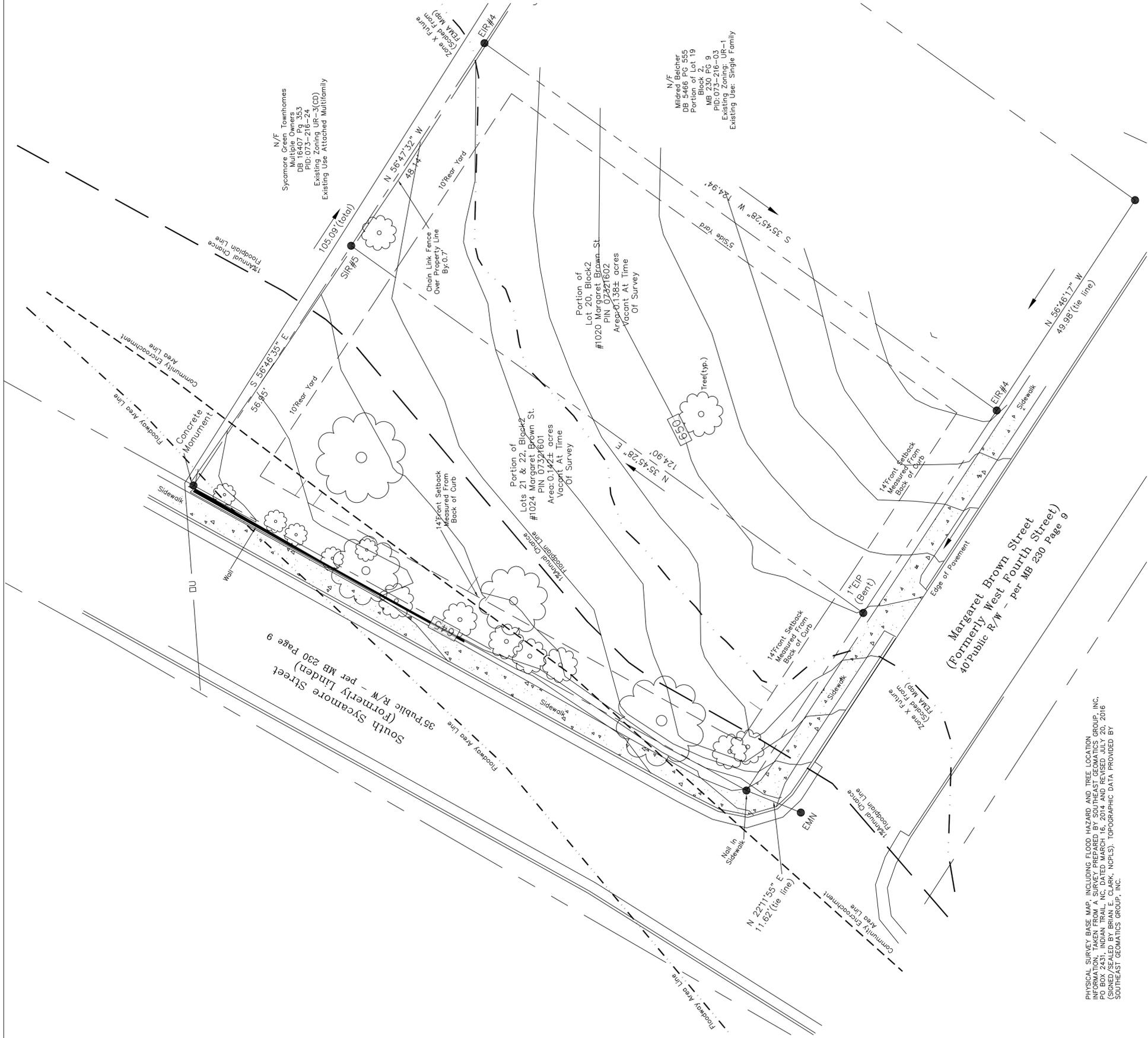
**5. Architectural Standards**

- The building materials used on the building(s) constructed on Site will be a combination of portions of the following: brick, stone, precast concrete, synthetic stone, cementitious fiber board, stucco, EIFS, and/or wood. Vinyl or aluminum as a building material may only be used on windows, soffits, and on handrails/railings.
- The illustrative building elevations including in this Rezoning Plan reflect an architectural style and a quality of the buildings that may be constructed on the Site. The actual buildings constructed on the Site may vary from these illustrations provided that the design intent is preserved.

- All trash and recycling will be on-street roll out.

- All garages located on the Site will face the internal drive aisle.

- The four (4) dwelling units located along South Sycamore Street will include entrances/exits opening out to South Sycamore Street.



PHYSICAL SURVEY BASE MAP, INCLUDING FLOOD HAZARD AND TREE LOCATION INFORMATION, TAKEN FROM A SURVEY PREPARED BY SOUTHEAST GEOMATICS GROUP, INC. PO BOX 2431, INDIAN TRAIL, NC, DATED MARCH 16, 2014 AND REVISED JULY 20, 2016 (SIGNED/SEALED BY BRIAN E. CLARK, NCPLS). TOPOGRAPHIC DATA PROVIDED BY SOUTHEAST GEOMATICS GROUP, INC.

PROJECT NUMBER	1518
DATE	1/18/2016
SCALE	AS SHOWN
PROJECT NAME	1020 - 1024 MARGARET BROWN STREET
CLIENT	LUXITY, LLC
DESIGNED BY	GEOSCIENCE GROUP
APPROVED BY	CHAD W. BROWN
DATE	7/25/2016
SCALE	AS SHOWN
PROJECT NUMBER	1518
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SCALE	AS SHOWN

**GEOSCIENCE GROUP**  
 5006 Canton Road  
 Charlotte, NC 28217  
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 Fax: 704.525.0501  
 www.geosciencegroup.com

LUXITY, LLC  
 1020 - 1024 MARGARET BROWN STREET  
 CHARLOTTE, NC

SITE PLAN

RZ-2



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- f. Except as otherwise provided in these Development Standards, the building will be constructed and operated in accordance with the restrictions described in the Ordinance.
- g. The petitioner will submit building elevations to the Charlotte-Mecklenburg Planning Department for review prior to submitting to Engineering and Property Management for land development review.

**6. Streetscape, Buffers and Landscaping**

- a. The structure depicted on the Site Plan will adhere to the setbacks, side and rear yards as indicated thereon. Side yard setbacks shall be no less than five feet (5'); rear yard setbacks shall be no less than ten feet (10') and front setbacks shall be no less than fourteen feet (14') in accordance with applicable requirements contained in the Ordinance.
- b. Streetscape improvements will include an eight (8) foot wide planting strip and six (6) foot wide sidewalk along South Sycamore Street and Margaret Brown Street.
- c. Meter banks, HVAC and related mechanical equipment will be screened where visible from public view at grade level. Screening requirements of the Ordinance will be met.
- d. Existing curb and gutter be replaced with new two-foot, six-inch curb and gutter.

**7. Environmental Features**

- a. The Site shall comply with the Charlotte City Council approved and adopted Post Construction Controls Ordinance.
- b. The Site shall comply with the City of Charlotte Tree Ordinance.

**8. Fire Protection - Reserved**

**9. Lighting**

- a. All new detached and attached lighting shall be full cut-off type lighting fixtures; low landscape, decorative, specialty, and accent lighting that may be installed along the driveways, sidewalks, open space/amenity areas, and parking areas.
- b. All detached lighting will be directed downward.

**10. Phasing**

- a. The project will be developed in a single phase.

**11. Amendments to the Rezoning Plan**

- a. Amendments to the Rezoning Plan (which includes these Development Standards) may be applied for by the then owner or owners of that portion of the Site affected by such amendment in accordance with the provisions herein and of Chapter 6 of the Ordinance.

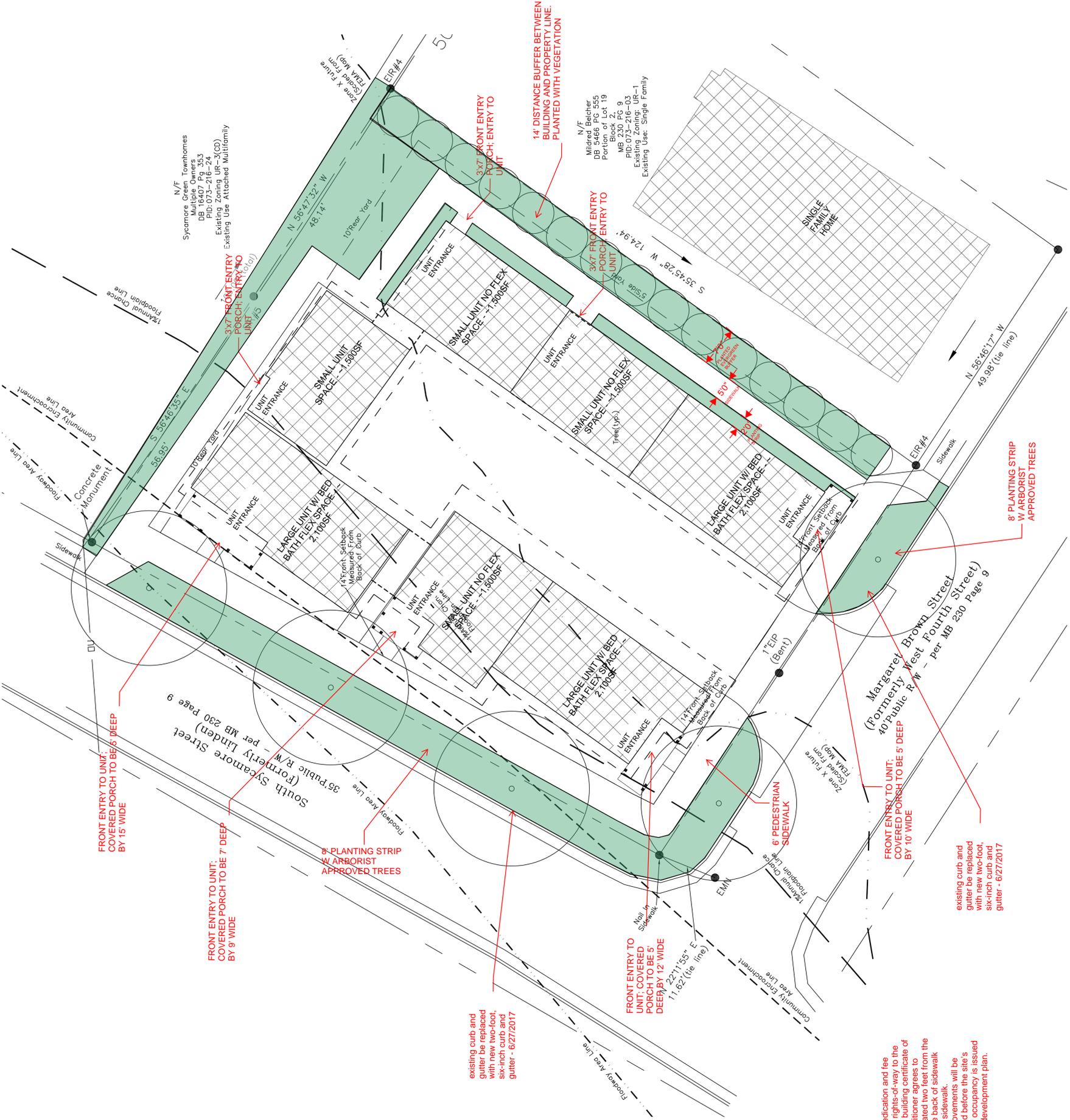
**12. Binding Effect of the Rezoning Application**

- a. If this Rezoning Petition is approved, all conditions applicable to the development of the Site imposed under the Rezoning Plan will, unless amended in the manner provided herein and under the Ordinance, be binding upon and inure to the benefit of the Petitioner and subsequent owners of the Site and their respective heirs, devisees, personal representatives, successors in interest or assigns.

GRAPHIC SCALE



PETITION # 2016-126  
 SUBMITTAL 3, APRIL 10, 2017



FRONT ENTRY TO UNIT:  
 COVERED PORCH TO BE 5' DEEP  
 BY 15' WIDE

FRONT ENTRY TO UNIT:  
 COVERED PORCH TO BE 7' DEEP  
 BY 9' WIDE

8' PLANTING STRIP  
 W/ ARBORIST  
 APPROVED TREES

existing curb and  
 gutter be replaced  
 with new two-foot,  
 six-inch curb and  
 gutter - 6/27/2017

FRONT ENTRY TO  
 UNIT: COVERED  
 PORCH TO BE 5'  
 DEEP BY 12' WIDE

6' PEDESTRIAN  
 SIDEWALK

FRONT ENTRY TO UNIT:  
 COVERED PORCH TO BE 5' DEEP  
 BY 10' WIDE

existing curb and  
 gutter be replaced  
 with new two-foot,  
 six-inch curb and  
 gutter - 6/27/2017

8' PLANTING STRIP  
 W/ ARBORIST  
 APPROVED TREES

6/27/2017 NOTE:  
 1. Petitioner to specify dedication and fee simple conveyance of all rights-of-way to the City before the site's first building certificate of occupancy is issued. Petitioner agrees to dedicate right-of-way, located two feet from the back of sidewalk or at the back of sidewalk where building abuts the sidewalk.  
 2. All transportation improvements will be constructed and approved before the site's first building certificate of occupancy is issued or phased per the site's development plan.

