

DEVELOPMENT NOTES

THIS REZONING DRAWING IS NOT INTENDED TO BE A SURVEY OR DEED/PLAT MAP. NO GRID TIE WAS FOUND IN REFERENCE DRAWINGS.

THE PROPOSED DEVELOPMENT SHALL COMPLY WITH ALL ZONING ORDINANCE REQUIREMENTS AND STANDARDS PERTAINING TO OFF STREET PARKING, SIGNAGE, SCREENING/LANDSCAPING, BUFFERS, AND THE CHARLOTTE TREE ORDINANCE.

THE MAXIMUM BUILDING AREA SHALL COMPLY WITH ALL ZONING REQUIREMENTS.

NO SEWER CONNECTION OR SEPTIC SYSTEM FOUND IN REFERENCE DRAWINGS.

NO WATER CONNECTION FOUND IN REFERENCE DRAWINGS.

UTILITIES SHOWN ARE APPROXIMATE AND MAY NOT BE ALL INCLUSIVE OR SHOWN ON THIS DRAWING. IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY LOCATIONS OF ALL UTILITIES. CALL NC ONE CALL CENTER AT 811 BEFORE YOU DIG. ALL DAMAGE MADE TO EXISTING UTILITIES BY THE CONTRACTOR SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

EXISTING VEGETATION SHOWN ON THIS DRAWING WAS TAKEN FROM REFERENCE DEVELOPMENT DRAWINGS AND MAY NOT DEPICT CURRENT CONDITIONS.

DEVELOPMENT DATA

ENGINEERING MAP GRID Q20
 MALLARD WATERSHED
 NO HISTORICAL FEATURES KNOWN TO EXIST
 NOT LOCATED IN A FEMA FLOODZONE OR STREAM BUFFER
 NO SIGNIFICANT TREES EXISTS ON PROPERTY
 EXISTING ZONING B-1 (CD)
 EXISTING USE BOOKSTORE
 PROPOSED ZONING B-1(CD) SPA
 EXCLUDING AUTOMOTIVE

ACTUAL LOT SIZE 37,579 SF (.862 AC)
 ACTUAL LOT WIDTH 190.71 FT
 MINIMUM LOT WIDTH 50 FT
 MAXIMUM FLOOR AREA RATIO .50

PROPOSED SETBACKS FOR NON-RESIDENTIAL
 FRONT 20 FT
 REAR 10 FT
 SIDE 0 FT
 *IF PROVIDED, MIN 8 FT AND 4FT.
 PROPOSED MAX BUILDING HEIGHT 40 FT
 *SIDE YARD MAY BE INCREASED TO ALLOW FOR INCREASED BUILDING HEIGHT PER ORDINANCE STANDARDS

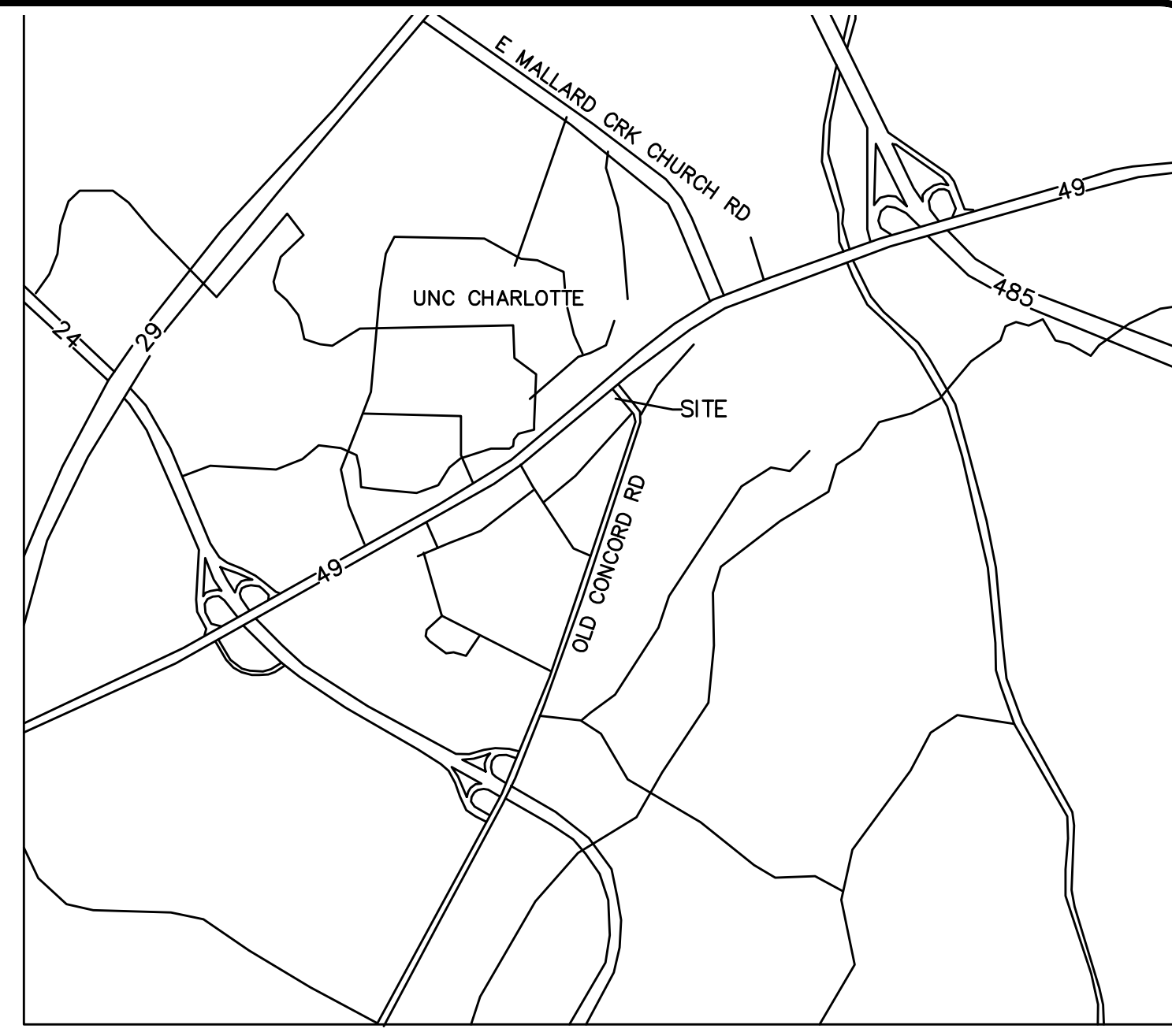
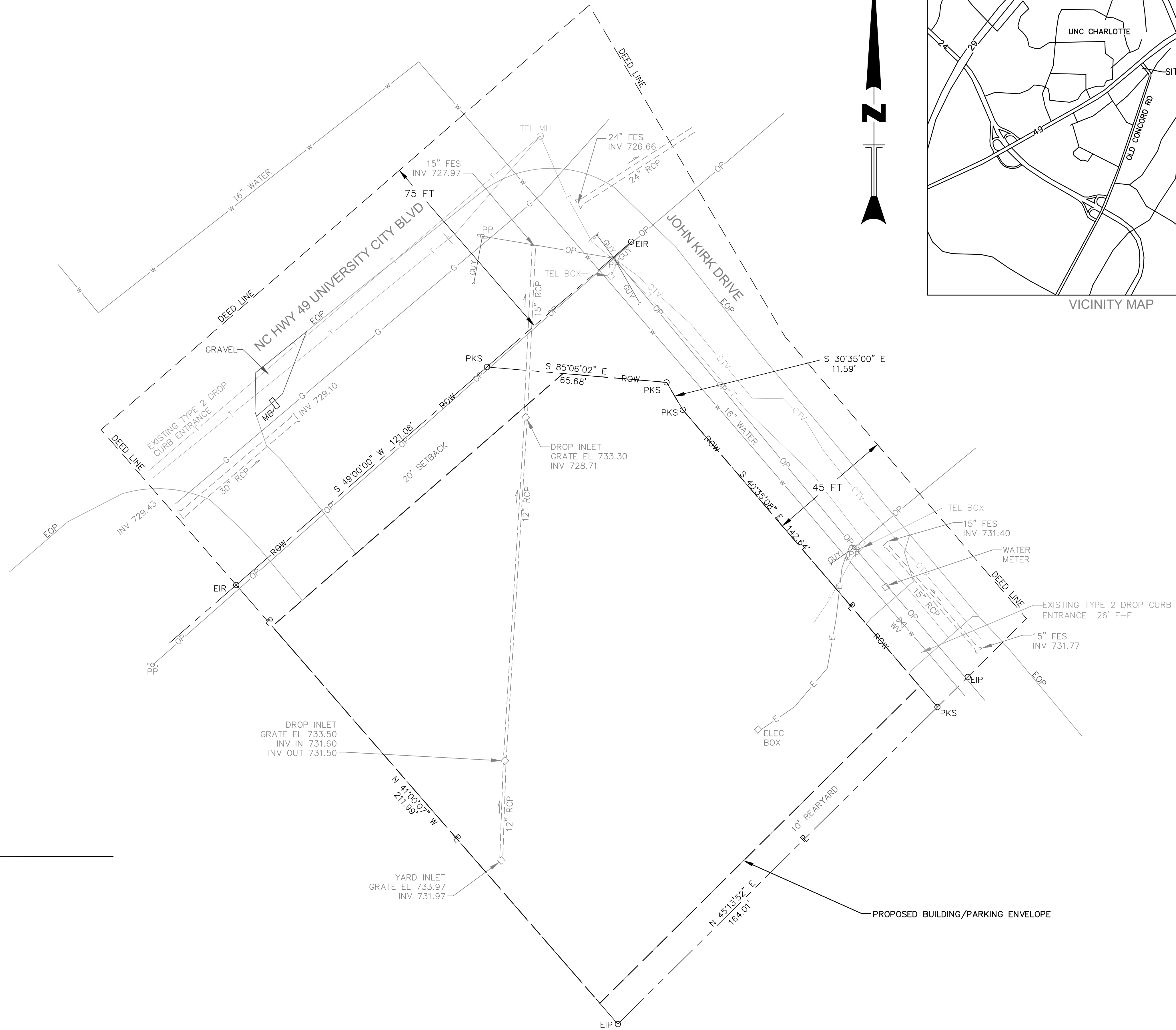
PROPOSED PARKING REQUIRED PER ORDINANCE STANDARDS

REFERENCE DRAWINGS

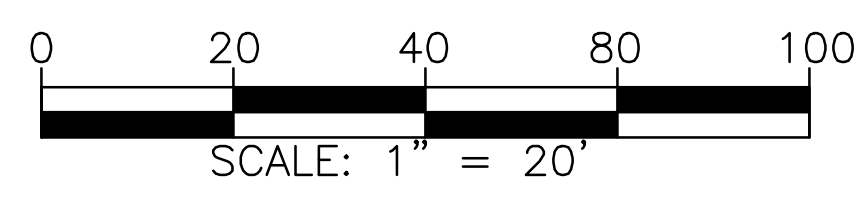
- 1) GRAY'S COLLEGE BOOKSTORE REZONING PLAN PETITION No. 93-31 DATED JAN 20, 1994 BY HEERY INTERNATIONAL, P.C.
- 2) CHARLES E. GRAY RIGHT-OF-WAY PLAT, GNA ASSOCIATES PROJ No. 31311.00 DATED 04/25/1994
- 3) GRAY'S BOOKSTORE, GNA ASSOCIATES PROJ No. 31311.50 DATED 03/20/1995
- 4) TRACT MAP OF "RIDGWOOD ACRES", DATED FEB. 1954 AND RECORDED IN PLAT BK. 7, PG. 527.
- 5) DEED-NCNB PROPERTIES, INC. TO NORTH CAROLINA NATIONAL BANK, DATED 10-16-1974, AND RECORDED IN DEED BK. 3717, PG. 429.
- 6) DEED BOOK 7499 PAGE 212

LEGEND

N/F	NOW OR FORMERLY
DB/Pg	DEED BOOK AND PAGE
ROW	RIGHT OF WAY
RCP	REINFORCED CONCRETE PIPE
INV	INVERT (PIPE INVERT)
FFE	FIRST FLOOR ELEVATION
PKS	PK NAIL SET
GUY	GUY WIRE
PP	POWER POLE.....
WV	EXISTING WATER VALVE.....
EIR	EXISTING IRON REBAR.....
MB	MAIL BOX.....
PROPERTY LINE	-----
EXISTING UNDERGROUND TELEPHONE LINE	-----T-----
EXISTING UNDERGROUND GAS LINE	-----G-----
EXISTING UNDERGROUND WATER LINE	-----W-----
EXISTING UNDERGROUND CABLE TV LINE	-----CTV-----
EXISTING OVERHEAD POWER LINE	-----OP-----



VICINITY MAP



Plans Prepared By:
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 MATTHEWS NC, 28105
 (919) 272-0051

2020-7-005	JOB NO.	1" = 20' HORIZ SCALE
IT-061710/RL/plotsheets	DIRECTORY	HCC
sheet3.dwg	CAD FILE	CHECKED BY
JDH	PREPARED BY	JCC
JDH	APPROVED BY	7-20-2020
		DATE

Grays Bookstore
 9430 University City Blvd
 Re-Zoning
 Rezoning Plan